

WISCONSIN STATE
LEGISLATURE
COMMITTEE HEARING
RECORDS

2003-04

(session year)

Assembly

(Assembly, Senate or Joint)

**Committee on
Housing
(AC-Ho)**

File Naming Example:

Record of Comm. Proceedings ... RCP

- 05hr_AC-Ed_RCP_pt01a
- 05hr_AC-Ed_RCP_pt01b
- 05hr_AC-Ed_RCP_pt02

Published Documents

➤ Committee Hearings ... CH (Public Hearing Announcements)

➤ **

➤ Committee Reports ... CR

➤ **

➤ Executive Sessions ... ES

➤ **

➤ Record of Comm. Proceedings ... RCP

➤ **

*Information Collected For Or
Against Proposal*

➤ Appointments ... Appt

➤ **

➤ Clearinghouse Rules ... CRule

**

➤ Hearing Records ... HR (bills and resolutions)

➤ **

➤ Miscellaneous ... Misc

➤ **03hr_AC-Ho_Misc_pt03b**



Appleton city government exists to provide quality services responsive to the needs of the community

DEPARTMENT OF PUBLIC WORKS
Inspection Division
100 North Appleton Street
Appleton, WI 54911
Telephone: (920)832-6411
Fax: (920)832-6464

FAX MESSAGE

DATE: 3-3-03 THIS COVER SHEET + 608 PAGE(S)

FAX TO: Scott Becker / Rep Wisconsin

COMPANY FAX NUMBER: 608-222-3657

SENDER: James Dallman

SUBJECT: _____

**PLEASE CONTACT US IMMEDIATELY IF THIS TRANSMISSION
IS INCOMPLETE, INCORRECT, OR ILLEGIBLE
(920) 832-6411**

CITY OF APPLETON CERTIFICATE OF OCCUPANCY AND COMPLIANCE

Certificate No. 16-03

February 13 2003

In accordance with the requirements of the building and zoning chapters of the City of Appleton Codes and the Codes of the State of Wisconsin where applicable, permission is hereby granted

To: Something Sweet (Carl Scott) Owner, Lessee, or Bldr

Building Location: 411 W. College Avenue

Property Description: 3-1031

Building Permit Number: 1153 Date Issued: 2-13-03

Occupancy: Diner


City of Appleton — Inspection Division

Buildings, HVAC, Compliance Statement

This form is required to be submitted by the supervising professional (architect, engineer, HVAC designer or electrical designer) observing construction of projects within buildings with total areas 50,000 cubic feet or greater and bleachers (Comm 50.10/Comm 61.50). Failure to submit this form may result in penalties as specified in Comm 50.28/Comm 61.23 and/or local ordinances.

General Instructions: Prior to the initial occupancy of new buildings or additions and the final occupancy of altered existing buildings, submit this completed and signed form to:

- The municipal building inspection office and
- Safety and Buildings, 10541N Ranch Road Hayward, WI. 54843

Personal information you provide may be used for secondary purposes (Privacy Law, s. 16.04 (1)(m)).

1. PROJECT INFORMATION: Please fill in the following with information from your plan approval letter.

Transaction ID Number 777068

Site Number 649220

Site location (number & street) 411 W. College Avenue

City Village Town of Appleton County of Outagamie

2. PURPOSE OF THIS STATEMENT: (Check Box A, B, C, or D to indicate purpose and complete any other applicable boxes and information. Attach additional pages if necessary.)

Check those which apply: Building Object ID # 866176 HVAC Object ID # _____
 Lighting Object ID # _____

Partial Completion _____
Description of Portion Completed _____

A) Statement of Substantial Compliance
To the best of my knowledge, belief, and based on onsite observation, construction of the following building and/or HVAC items applicable to this project have been completed in substantial compliance with the approved plans and specifications.

BUILDING/LIGHTING ITEMS

1. Structural system including submittal and erection of all building components (trusses, precast, metal building, etc.)
2. Fire protection systems (sprinklers, alarms, smoke detectors) designed, installed, and tested (including forward flow on back flow devices) by appropriately registered professionals
3. Shaft and stairway enclosure
4. Exit including exit and directional lights
5. Fire-resistive construction, enclosure of hazards, fire walls, labeled doors, class of construction, fire stopped penetrations
6. Sanitation system (toilets, sinks, drinking facilities)
7. Barrier-free including Comm 15 elevators and lifts
8. Energy envelope requirements
9. All conditions of building plan approval and applicable variances

10. Exterior lighting & control requirements
11. Interior lighting & control requirements
12. All conditions of lighting plan approval and applicable variances

HVAC ITEMS

1. HVAC system including final test
2. All conditions of HVAC plan approval and applicable variances

BY HVAC CONTRACTOR

The following items are not in compliance and must be addressed: _____

B) Statement of Noncompliance
Due to the following listed violations, this project is not ready for occupancy: _____

C) Supervising Professional Withdrawn From Project (Use A or B above to indicate project status as of this date.)

D) Project Abandoned

3. SUPERVISING PROFESSIONAL SIGNATURE FOR:

Building HVAC Lighting Carl J. Scott Date 2/12/03
Name (please print or type)

Phone number 920-738-7707 Customer ID # 685586 Signature Carl J. Scott

February 12, 2003

To: Carl Scott
Architect

From: Theresa Henning
Member
Something Sweet LLC

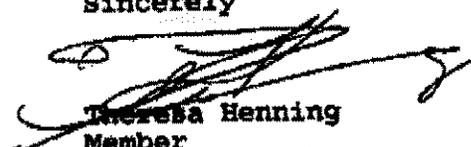
Re: Storage Area
411 W. College Ave
Appleton, WI

Carl,

Just a note in regard to the storage area in the basement at 411 W. College Avenue in Appleton. The storage area will be for personal storage only. It is not for going to used to store items for the business.

I understand that this is how the area in the basement at 411 W. College has been classified on the plans submitted to the state and this letter is just a confirmation.

Sincerely



Theresa Henning
Member
Something Sweet LLC

City of Appleton—Department of Public Works
Inspection Division

Memo

To: Bill Seibers
From: Jim Dallman *Jim*
CC: Carl Scott, Architect
Date: 02/04/03
Re: 411 West college Avenue

The following are issues pending at 411 West College Avenue. A conditional variance has been granted by the State for ceiling height in the basement.

❖ Inspections

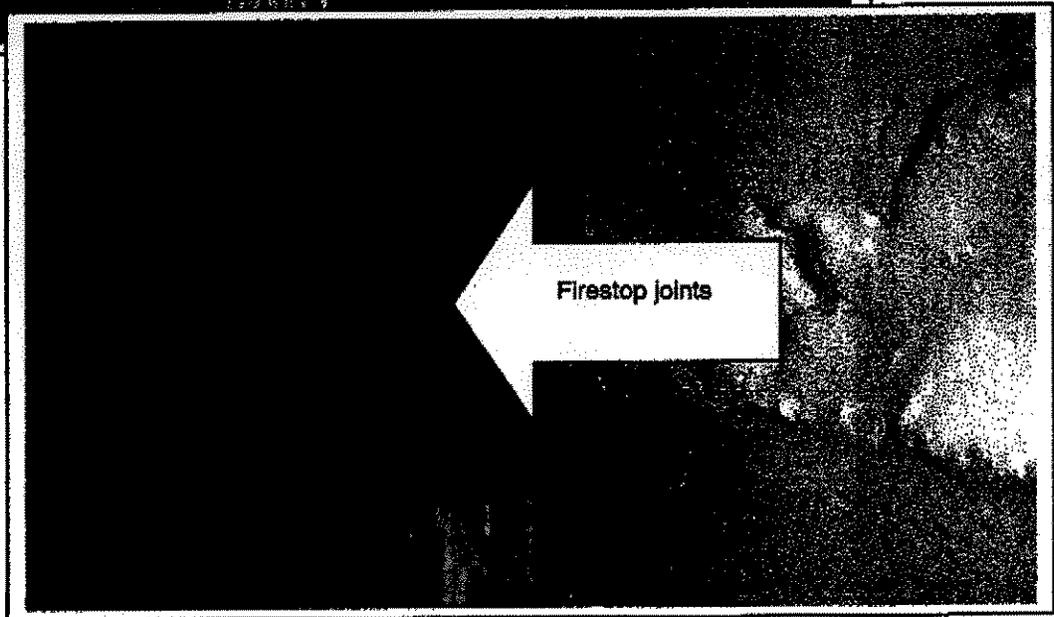
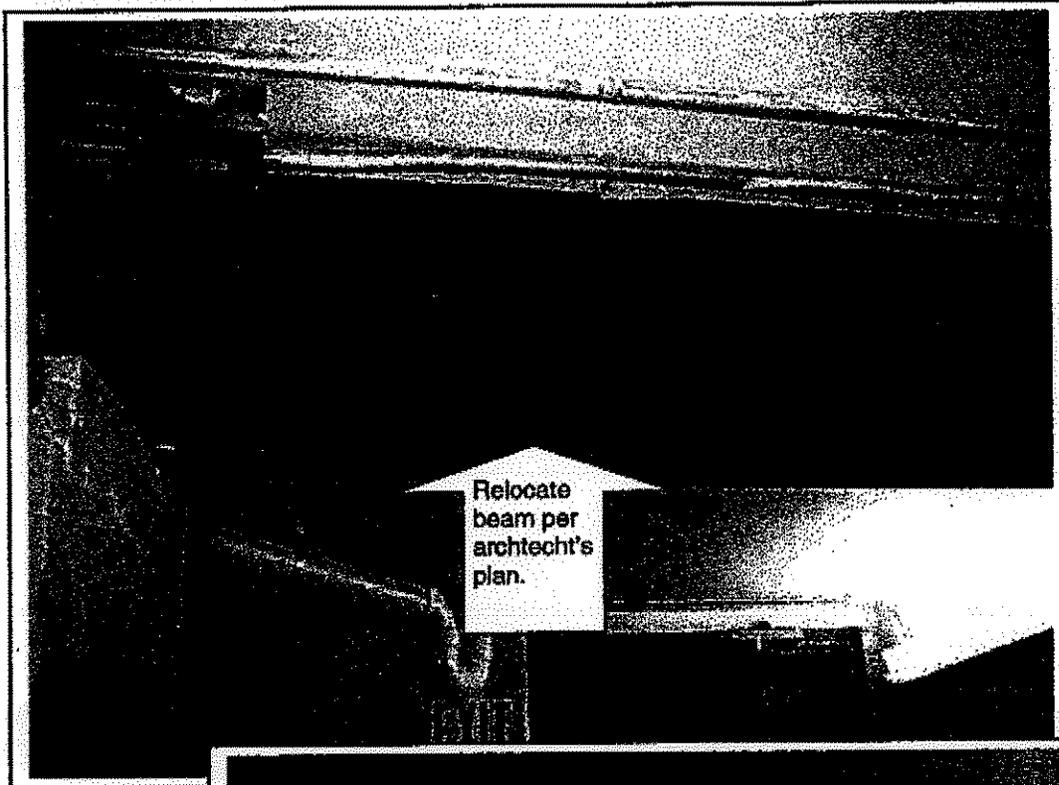
> Building

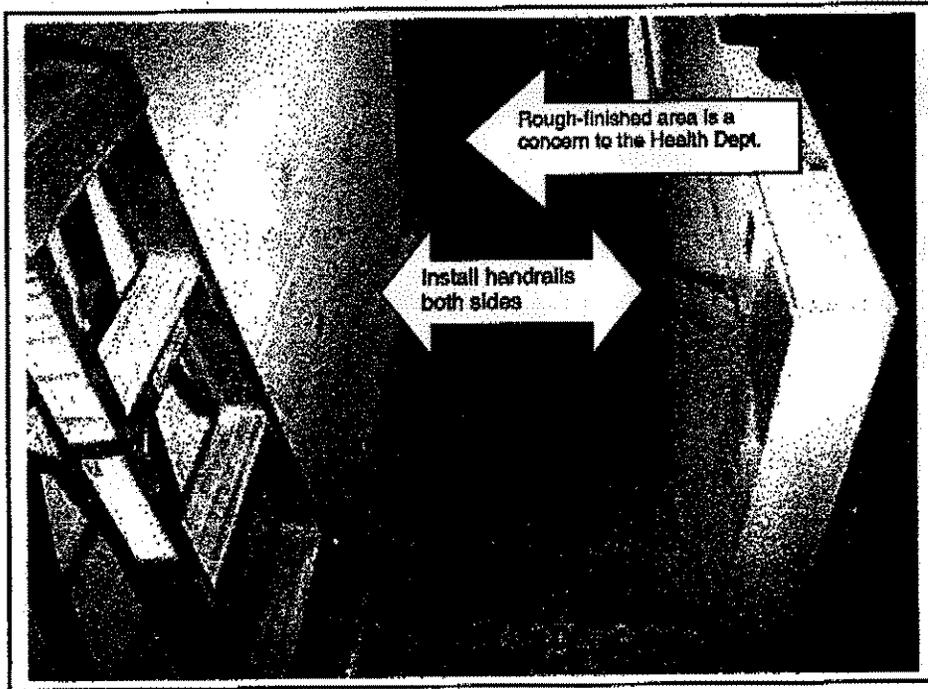
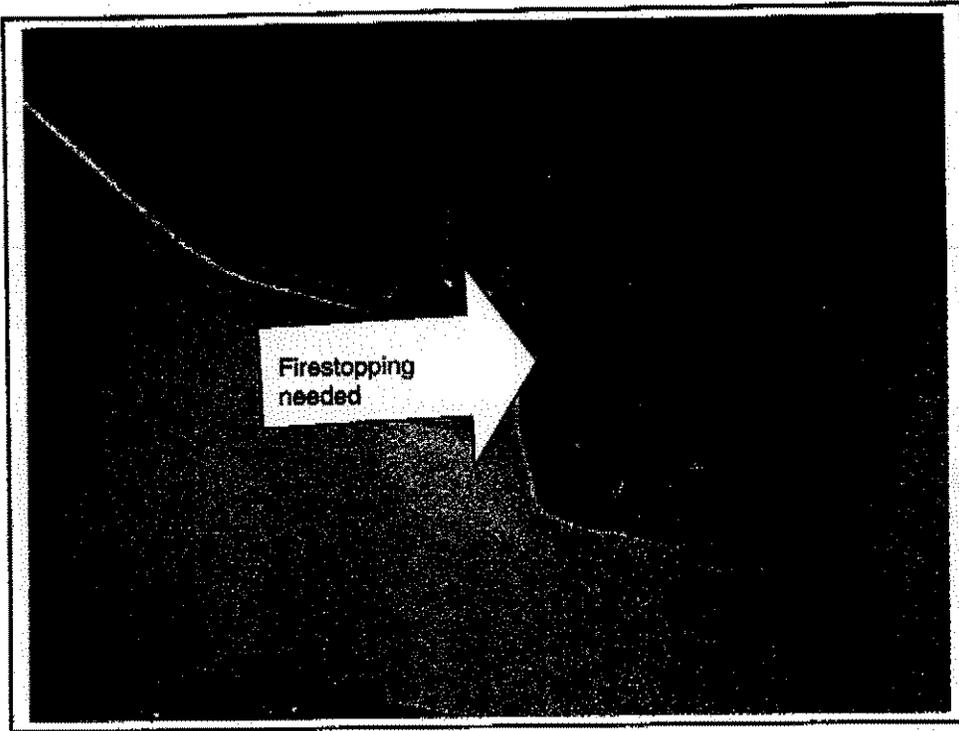
- Modify the steel beam in the basement per the architect's specification (see attachment)
- Firestop all penetrations and wall joints (see attached examples)
- Install handrails both sides of stairways. Provide handrail extension per code. (If the installer doesn't know handrail rules, contact Tom Ebel in this department.)
- Provide documentation to the Department of Commerce and the City Inspection Division demonstrating that the materials stored in room B-3 constitute an S-2 occupancy. Note: this is a condition of your state variance.
- Place signage at door B-2 and Stair S-2 required as a condition of variance.
- The early warning smoke detection system must be certified by the Fire Department.
- A bathroom mirror shall be provided so that the bottom edge of the reflecting surface is no more than 40" above finished floor.
- Provide emergency light outside rear door. Note: this was called out on the state plan review correspondence.
- The architect needs to submit a compliance statement to the Inspection Division.

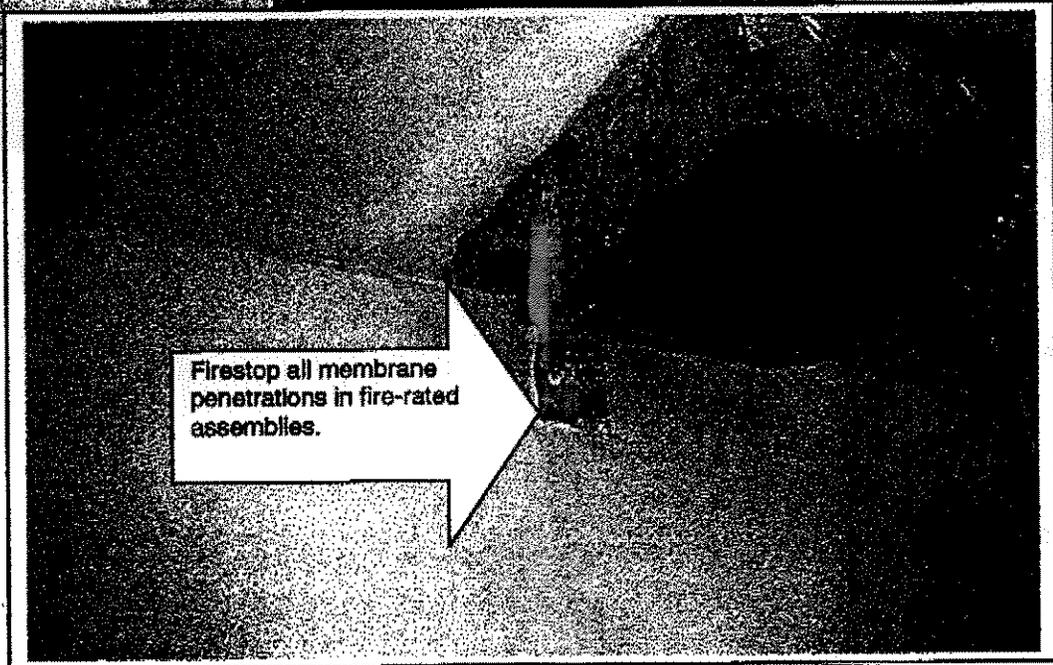
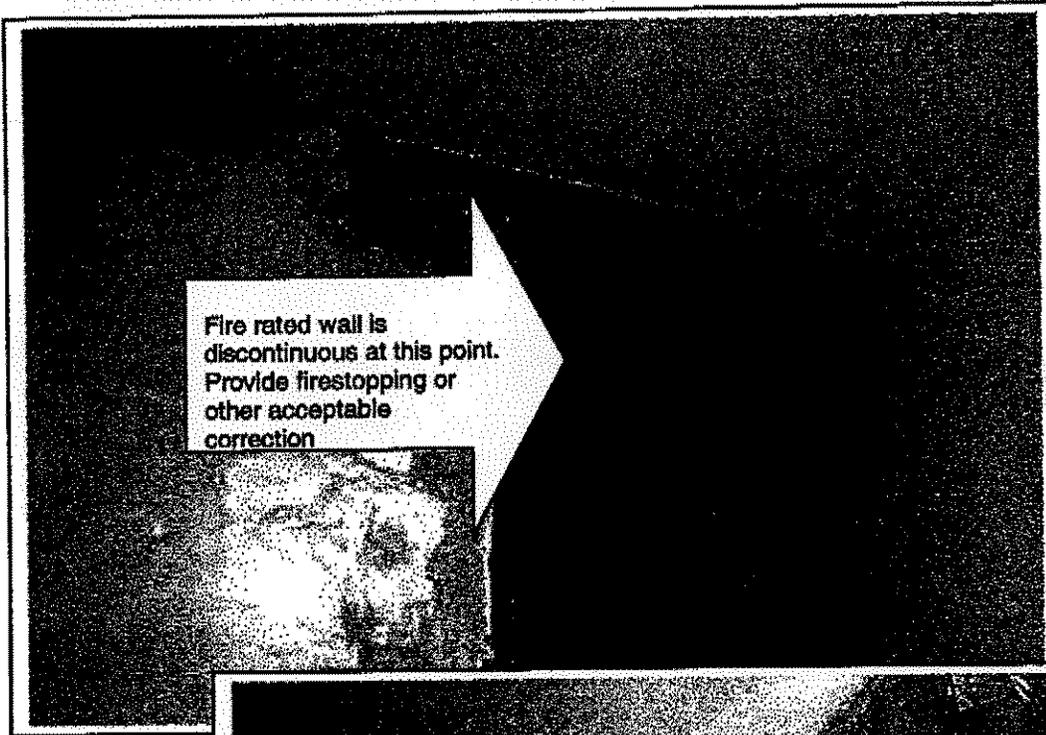
> Plumbing

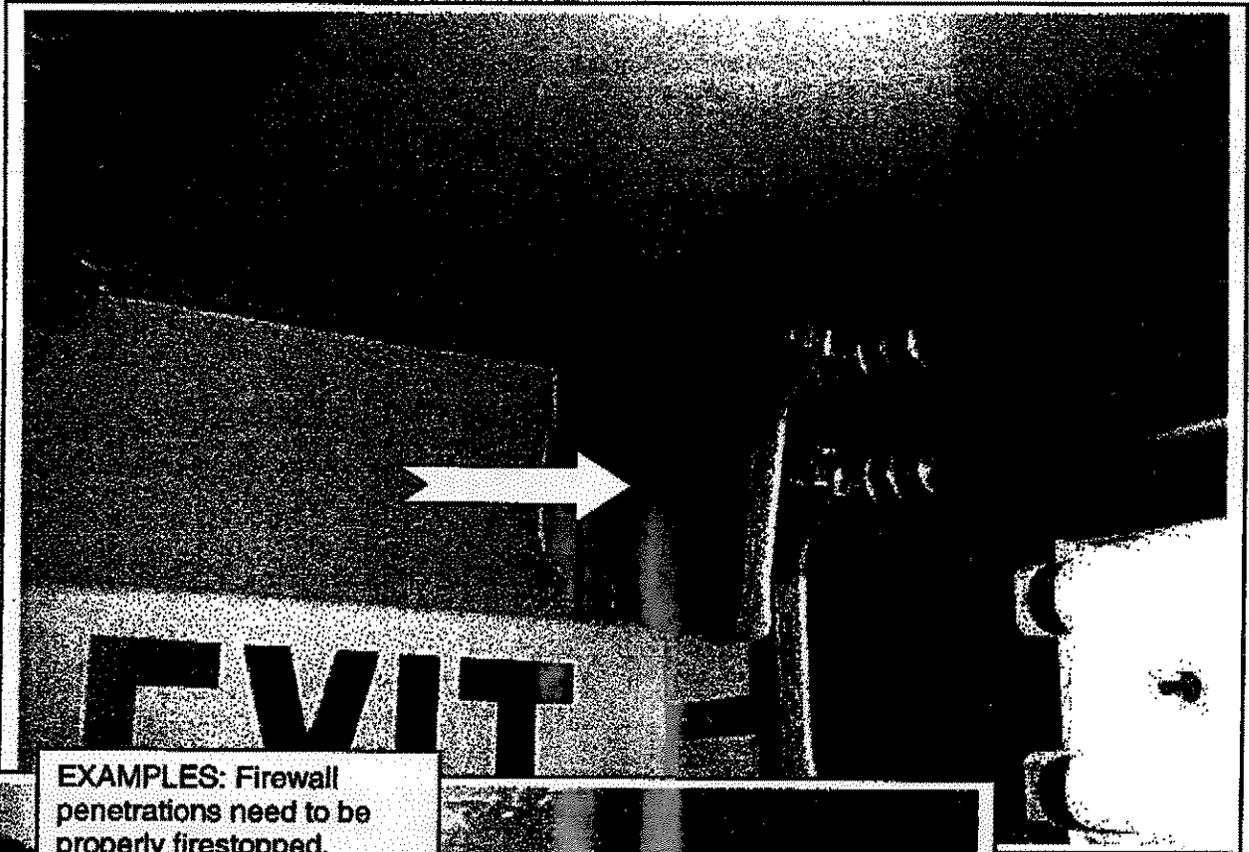
- The vent pipe must be tied together after the beam is modified.

- Water supply must be connected to water closet in one bathroom.
- Electrical
 - No issues
- Heating/ventilating
 - Awaiting some minor air flow balancing on the exhaust hood. Note: this would not hold up occupancy.
- ❖ Fire Dept issues
 - Contact Vernon Green (5816)
- ❖ Health Department issues
 - Contact Tim Mirkes (6432)
- ❖ State issues
 - All known state issues are included in "Building" above.

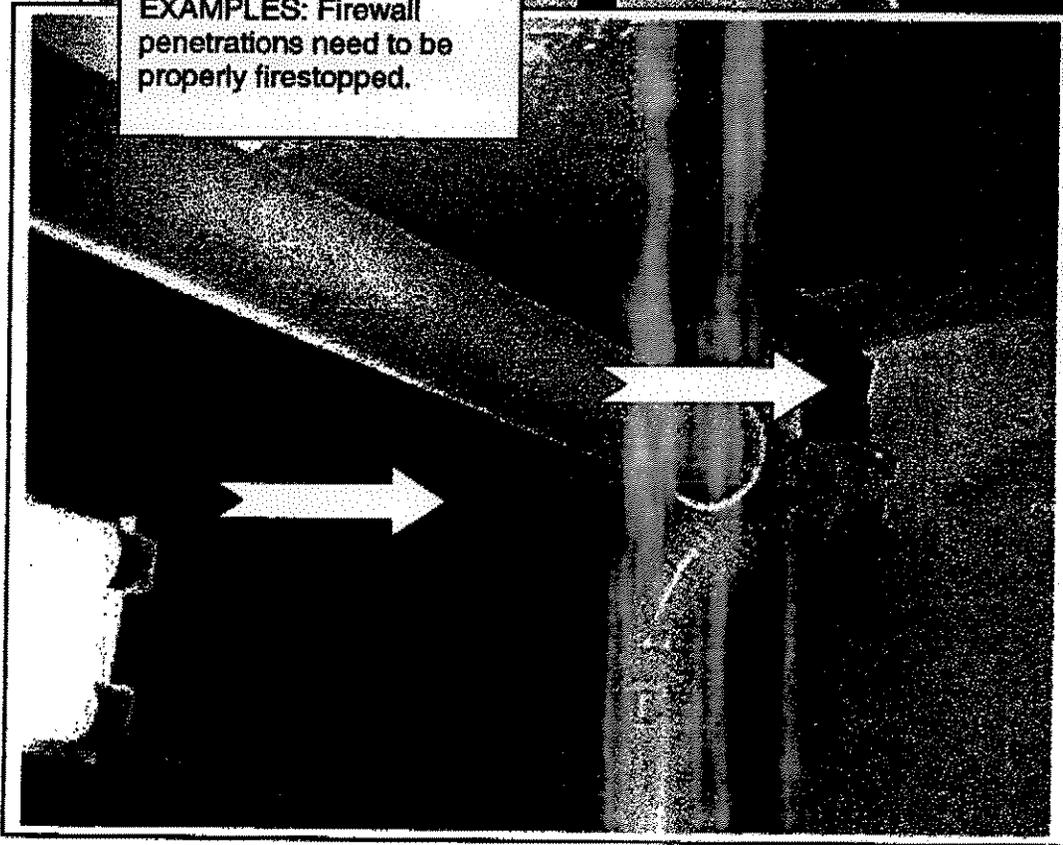








EXAMPLES: Firewall penetrations need to be properly firestopped.





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November 21, 2002

Paul R. Jonas
The Polacheck Company, Inc.
2109 E. Capitol Drive
Appleton, WI 54911-8726

RE: 411 West College Avenue
Construction Meeting 11/19/02

Present: Paul Jonas Property, Property Owner
Tim Laabs and Theresa Henning, Tenants
Doug Schmidt, General Contractor
Carl Scott, Project Architect and Supervising Professional
Vernon Green, Fire Marshal
Chris Behrens, Assistant City Attorney
Dan Dibbs, Fire Inspector
Roger Walbrun, Plumbing Inspector
Craig Arnold, Heating Inspector
Tom Ebel, Building Inspector

Dear Mr. Jonas:

The following is my understanding of issues and items discussed at referenced meeting.

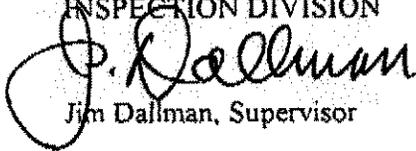
1. Construction is in progress. The target opening date is Mid-December.
2. Carl has submitted a memo to State Plan Examiner Minh Tran outlining nonconforming conditions at subject property. M. Tran has not responded yet. At the time of this meeting, it was not know if all nonconforming conditions would be accepted.
3. The sump pump will be connected to the storm water system. No stormwater will be surface drained to the alley or anywhere else other than the proposed storm sewer in College Avenue.
4. The 1½" water lateral and the storm sewer lateral will be installed at the front of the building this week.
5. Heating and ventilating plans have been submitted to the state by the heating contractor.
6. Exhaust hood plans apparently were not included in the HVAC plans submitted by the heating contractor and will have to be submitted separately.

7. A suppression system will not be required for the exhaust hood unless it is used to exhaust grease vapors.
8. Heating Inspector Arnold pointed out a possible lack of communication between the exhaust hood contractor and the HVAC contractor. Doug Schmidt said that he has and will continue to monitor that situation.
9. It is understood that all plan review and installation requirements will be completed before a certificate of occupancy will be issued.

Final inspections are required, and all requirements met, before a certificate of occupancy can be issued.

Thank you for your leadership in getting these issues discussed and resolved. Please let me know if I can be of further assistance.

INSPECTION DIVISION



Jim Dallman, Supervisor

Cc: Carl Scott, Architect
Steve Dozer, Attorney
Bill Siebers, Mayor's Office
Walter Kalata, Alderman
Chris Behrens, Asst. City Attorney
Ross Buetow, City Engineer
Vern Green, City Fire Marshal
Dan Dibbs, Fire Inspector
Tom Ebel, Inspector ✓
Roger Walbrun, Inspector
Tom Collins, Inspector
Craig Arnold, Inspector
Sindee Kleckner, Deputy Planning Director
Tim Mirkes, Health Dept.

Submit site plan to the Planning Department or the Inspection Division according to the following.

**COPY**

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Fax: (920)832-6464

November 27, 2002

Mr. Matthew Wilcox
Assistant Vice President, Commercial Lending
First National Bank, Fox Valley
550 South Green Bay Road
P.O. Box 629
Neenah WI 54957

Dear Matthew:

I have been asked by the owners of the building located at 411 W. College Avenue and the tenants in that building to write you a letter regarding the ongoing construction at the building and eventual granting of an occupancy permit to allow Theresa Henning and Tim Laabs to prepare and serve food in the building under the business name Something Sweet.

As you may know, several issues regarding basement ceiling heights, water and sewer service, and fire protection have come to light since the original construction plans were approved by the State of Wisconsin on October 5, 2002. After State approval was granted, construction began at the building in accordance with the approved plans. Subsequent field inspection by the City of Appleton, and conversation between state and local planners, revealed that several important considerations were not identified during the design and plan review process. Notice was given to Carl Scott, the architect overseeing this project and Doug Schmidt, the general contractor on this project, and changes are in progress to meet all requirements. As of this date, several important issues pertaining to basement ceiling height remain unresolved between the architect and the state. Most other issues, including those pertaining to water service, fire protection, and storm sewer service, appear to have been addressed pending final inspection.

I know of no impasse between the City and the developers over any issues. On the contrary, I find the developers to be cooperative and professional in all dealings with this agency.

Mr. Matthew Wilcox
12/02/02
Page 2

City administration supports this project and we will, as always, do everything within our role to see this business opened in a code complying condition. Although there are important items that remain outstanding, I have no reason to doubt that these issues will be resolved in a timely fashion and that all proper licensing and permits can be issued to allow Something Sweet to open for business.

Sincerely



Jim Dallman
Building Inspector, City of Appleton

Cc: Paul Jonas
Tim & Theresa Henning
Carl Scott
Doug Schmidt
Vernon Green
Scott Barr

**COPY**

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November 14, 2002

Paul R. Jonas
The Polacheck Company, Inc.
2109 E. Capitol Drive
Appleton, WI 54911-8726

FAXED:
Paul Jonas 920-997-3338
November 14, 2002

RE: 411 West College Avenue

Dear Mr. Jonas:

This letter is given according to our conversation of November 14, 2002 and your request for a summary of currently know issues regarding occupancy of "Something Sweet" 411 West College Avenue.

Building Code Issues:

- We have received correspondence dated 11/11/02 from Architect Carl Scott regarding subject property. Architect Scott's correspondence includes a memo to Minh Tran, State Plan Examiner, listing several non-conforming conditions regarding the project at subject location and asking Examiner Tran to comment as the acceptability of the nonconformities.
- I spoke briefly with Building Inspector Tom Ebel this morning. Inspector Ebel said he has no building code concerns at this time that are not given in Architect Scott's memo.

Plumbing Code Issues

In addition to the building code concerns given above, the following plumbing code requirements must be met before a certificate of occupancy can be granted.

- The water supply to the building must be sized and installed to comply with Comm 82.40 (State Plumbing Code). Plumbing plans, including water calculations, must be submitted to the City of Appleton Plumbing Inspector for review and approval.
- Connection to the City storm sewer system must be made at the front of the building. This will require excavation at the front of the building. This is a requirement of City Ordinance (Sec. 4-270 & 4-271) and the State Plumbing Code (Comm 82.36).

Electrical Code Issues:

- There are several items of electrical work to be completed. These items are known to the electrical contractor and work to comply with the requirements is presumed to be in progress.

Heating and Ventilating Issues

- The HVAC plans have not been approved by the State yet. The design of hood venting is apparently not complete.
- Penetrations of fire resistive assemblies need to be protected per code requirements.

Sign Code Issues

- A sign permit may be required, depending on the extent and nature of proposed signage. A street occupancy permit is needed for any structure that extends over the public right-of-way.

Planning Issues

- There are no known planning issues. Contact Sindee Kleckner (832-6460) for confirmation.

Fire Department Issues

- Contact Fire Marshal Vernon Green for more information (832-5813)

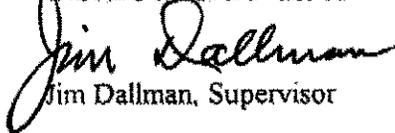
Health Department Issues

- Contact Supervisor Tim Mirkes for more information (832-6429)

This is a summary significant issues known at this time. As you know, issues can arise at any point in a project, so this can't be confirmed as a final list. Final inspections are required, and all requirements met, before a certificate of occupancy can be issued.

Please let me know if I can be of further assistance.

INSPECTION DIVISION


Jim Dallman, Supervisor

Enclosed: City Ordinance, Sections 4-270 & 4-271
State Plumbing Code, Section 82.36
Carl Scott Fax dated 11/11/02
City Ordinance Chapter 4, Division 5, "Certificate of Use and Occupancy"
City Ordinance Chapter 4, Section 4-98, "Final Inspection"

Cc: Architect Carl Scott
Attorney Steve Dozer
Bill Siebers, Mayor's Office
Ald. Kalata
Inspector Tom Ebel
Inspector Roger Walbrun
Inspector Tom Collins
Inspector Craig Arnold
Sindee Kleckner, Deputy Planning Director
Tim Mirkes, Health Dept.

APPLETON CODE

Sec. 4-270. Connection to public sewers and water mains required.

(a) Whenever public sewers and water mains are laid along and within any public street, alley or place in the City and ready for use, the Inspection Supervisor shall notify in writing all owners or their agents and occupants of all houses, tenements and other buildings used for human habitation situated on lots or parcels of land abutting upon such street, alley or place which is accessible to such sewer and water main, to connect therewith and to connect all bathtubs, water closets, lavatories, sinks and urinals upon their respective lots or parcels of land with the sewer in a sanitary manner in accordance with the state plumbing code within thirty (30) days after service of such a notice. In a district zoned commercial, light manufacturing or heavy industrial all buildings other than those used for residential purposes shall be connected to storm sewers, where available, upon order of the Inspection Supervisor.

(b) Whenever public mini-storm sewers or storm laterals are laid along and within any public street, alley or place in the City and ready for use, property owners shall, upon notice from the City, connect to the facility provided to their particular property. All connections shall be in a manner in accordance with the State Plumbing Code. Failure of the property owner to connect within the time period specified in said notice shall result in said connection being made by the City of Appleton and all charges being assessed against the property as a special charge.

(c) If any such owner, agent or occupant shall fail to comply with such notice, the Inspection Supervisor or the Board of Public Works, shall cause such connections to be made and the cost thereof assessed as a special tax against the lots or parcels of land and the amount thereof shall be levied and collected in the same manner as other taxes, pursuant to W.S.A. §144.06.

(d) After connection to a water main and public sewer, no septic system shall be constructed or maintained upon any such lot or parcel and shall be abated upon thirty (30) days written notice for such abatement by the Inspection Supervisor. If not so abated, the Inspection Supervisor shall cause the same to be done and the cost thereof assessed as a special tax against the property and the amount shall be levied and collected in the same manner as other taxes, pursuant to W.S.A. §144.06. The abatement should be conducted pursuant to, Wisconsin Administrative Code COMM 83.03(2).

(e) The Board of Public Works may extend the time for connection hereunder or may grant temporary relief where strict enforcement of this section would work as unnecessary hardship

without corresponding public or private benefit. (Code 1965, §7.04, § 7.04(1)-(4); Ord 32-92, §1, 3-18-92; Ord 174-93, §1, 10-19-93; Ord 118-96, §1, 12-18-96; Ord 15-97, §1, 3-5-97; Ord 85-97, §1, 10-15-97)

Sec. 4-271. Discharge of drains and sewers.

(a) No person shall discharge domestic sewage, industrial wastes or septic tank effluent onto the surface of the ground, into any drainage ditch, into any river or stream or into any storm sewer or drain, or permit such materials to be so discharged.

(b) Roof leaders, surface drains, groundwater drains, foundation footing drains and other clear water drains shall be connected wherever possible with a storm sewer, but they shall not be connected to a building sewer which discharges into a sanitary sewer or private sewage treatment plant. Air conditioning and clear water drains not described in this subsection shall also discharge to storm drains or sewers, unless special permission is obtained from the Inspection Supervisor in cases where an unnecessary hardship would result and where the spirit of this subsection would be observed. If stormwater or clear water is being discharged into a sanitary sewer the Inspection Supervisor shall give the offending person fifteen (15) days' notice to disconnect. Failure to disconnect after such notice shall authorize the Director to cause disconnection and assessment of the costs of such disconnection against the property involved. The Director may, in the alternative, institute action for violation of this subsection. (Code 1965, §16.09; Ord 32-92, §1, 3-18-92; Ord 174-93, §1, 10-19-93; Ord 118-96, §1, 12-18-96)

Sec. 4-272. Sealing of unused sewer and water services.

(a) All sewer and water laterals or building sewers and water services installed and not immediately used shall be securely sealed so as to be watertight. This shall be done by the use of proper fittings and materials manufactured for that purpose and in a manner approved by the Inspection Supervisor.

(b) Before any building connected to City sanitary sewer or water mains is razed or moved to another location, a permit shall be obtained by a master plumber from the Inspection Supervisor to disconnect and seal all sanitary sewer and water services serving the premises. The sewer shall be disconnected at the main sewer and sealed as specified for new unused connections, except that where the owner can demonstrate in a manner acceptable to the City that the condition of the sewer service pipe is not permitting groundwater inflow to enter the sanitary sewer main, the sewer service pipe may be sealed at the street right-of-way line. The water service shall be disconnected and sealed at a location point determined by the Water Utility.

Comm 82.35

WISCONSIN ADMINISTRATIVE CODE

c. The bottom of the frost sleeve shall terminate 6 to 12 inches above the top of the drain piping or at least 6 inches below the predicted frost depth in accordance with s. Comm 82.30 Table 82.30-6.

d. The frost sleeve shall have a removable watertight top of sufficient thickness and strength to sustain the weight of anticipated traffic.

Note: See Appendix for further explanatory material.

(b) *Concealed piping.* Cleanout access for drain piping located in concealed spaces shall be provided by either extending the cleanout to at least the surface of a wall or floor or by providing access panels of a sufficient size to permit removal of the cleanout plug and proper cleaning of the pipe.

(6) **CLEANOUT SIZE.** Cleanouts and cleanout extensions shall be sized in accordance with Table 82.35.

(7) **PROHIBITED USE OF CLEANOUT OPENINGS.** Cleanout openings shall not be used for the installation of fixtures or floor drains, except where another cleanout of equal access and capacity is provided.

(8) **MANHOLES.** (a) *Diameter.* The minimum diameter of manholes shall be 42 inches. A manhole shall have a minimum access opening of 24 inches.

(b) *Materials.* Manholes shall be constructed of approved materials in accordance with ch. Comm 84 and in accordance with the design provisions of s. NR 110.13.

Note: The provisions of NR 110.13 regarding the manhole's flow channel, watertightness, and drop pipe indicate the following specifications:

—The flow channel through manholes shall be made to conform to the shape and slope of the sewer.

—Solid watertight manhole covers are to be used wherever the manhole tops may be flooded by street runoff or high water. Where groundwater conditions are unfavorable, manholes of brick or block shall be waterproofed on the exterior with plastic coatings supplemented by a bituminous waterproof coating or other approved coatings. Inlet and outlet pipes are to be joined to the manhole with a gasketed flexible watertight connection or any watertight connection arrangement that allows differential settlement of the pipe and manhole wall to take place.

—An outside drop pipe is to be provided for a sewer entering a manhole where the invert elevation of the entering sewer is 2 feet or more above the spring line of the outgoing sewer. The entire drop connection shall be encased in the concrete. Inside drop connection may be approved on a case-by-case basis.

Note: See Appendix for further explanatory material.

**Table 82.35
CLEANOUT SIZES**

Diameter of Pipe Served by Cleanout (inches)	Minimum Diameter of Cleanout Extension (inches)	Minimum Diameter of Cleanout Opening (inches)
1½	1½	1½
2	1½	1½
3	3	2½
4	4	3½
5	5	4
6	6	5
8 and larger	6	6

History: Cr. Register, February, 1985, No. 350, eff. 3-1-85; am. (3) (i), r. and rec. (3) (j), Register, May, 1988, No. 389, eff. 6-1-88; am. (5) (a) 2, r., Register, August, 1991, No. 428, eff. 9-1-91; r. and rec. (3) (i) and (5) (a) 2, c., Register, February, 1994, No. 458, eff. 3-1-94.

Comm 82.36 Storm and clear water drain systems.

(1) **SCOPE.** The provisions of this section set forth the requirements for the design and installation of storm and clear water drain systems including storm building drains and sewers.

(2) **MATERIALS.** All storm and clear water drain systems shall be constructed of approved materials in accordance with ch. Comm 84.

(3) **DISPOSAL.** (a) *Storm sewer.* Storm water, surface water, groundwater and clear water wastes shall be discharged to a storm sewer system or a combined sanitary-storm sewer system where available. Combined public sanitary-storm sewer systems shall

be approved by the department of natural resources. Combined private sanitary-storm sewer systems shall be approved by the department.

(b) *Other disposal methods.* 1. Where no storm sewer system or combined sanitary-storm sewer system is available or adequate to receive the anticipated load, the final disposal of the storm water, surface water, groundwater or clear water wastes shall be discharged in accordance with local governmental requirements. If the final disposal of such waters or wastes is by means of subsurface discharge, documentation shall be submitted to this department to determine whether the method of disposal is acceptable.

2. Where approved by the local governmental authority, storm water, surface water, groundwater and clear water wastes of the properties of one- and 2-family dwellings may be discharged onto flat areas, such as streets or lawns, so long as the water flows away from the buildings and does not create a nuisance.

3. The waste from a drinking fountain, water heater relief valve, storage tank relief valve, water softener, or iron filter shall be discharged to a sanitary drain system or a storm drain system.

Note: See also s. NR 811.29 for setbacks to wells.

4. The clear water wastes from equipment other than those listed in subd. 3. may be discharged to a sanitary drain system which connects to a publicly owned treatment works, if not more than 20 gallons of clear water wastes per day per building are discharged.

5. The wastes from a floor drain located in a municipal well pump house, a water testing sink within a municipal well pump house or a one- and 2-family garage shall be discharged to a sanitary drain system or to ground surface.

(c) *Segregation of wastes.* 1. a. Except as provided in subd. 1. b., where a sanitary sewer system and a storm sewer system are available the drain piping for storm water or clear water wastes may not connect to any part of the sanitary drain system.

b. Where a combined sanitary-storm sewer system is available storm water wastes, clear water wastes and sanitary wastes may not be combined until discharging to the building sewer.

2. Storm water wastes and clear water wastes shall not be combined until discharging into the storm building drain.

(4) **LOAD ON DRAIN PIPING.** (a) *Storm water drainage.* The load factor on storm water drain piping shall be computed in terms of gallons per minute or on the square footage of the horizontal projection of roofs, paved areas, yards and other tributary areas based on a minimum of 3.7 inches per hour and the surface area to gallons per minute (gpm) conversion factors in Tables 82.36-1 to 82.36-3.

(b) *Continuous flow devices.* Where there is a continuous or semicontinuous discharge into the storm building drain or storm building sewer, as from a pump, air conditioning unit, or similar device, each gallon per minute of such discharge shall be computed as being equivalent to 26 square feet of roof area.

(5) SELECTING SIZE OF STORM AND CLEAR WATER DRAIN PIPING.

(a) *Horizontal storm water drain piping.* The pipe size for horizontal drain piping for storm water shall be determined from Tables 82.36-1 to 82.36-4a, or a detailed engineering analysis acceptable to the department.

(b) *Vertical conductors for storm water.* 1. A vertical conductor for storm water shall not be smaller than the largest horizontal branch connected thereto.

2. Vertical conductors shall be sized in accordance with Table 82.36-5 or the diameter D, where

$$D = 1.128 \sqrt{\frac{A}{X}}$$

where, A = the area of the roof in square feet

X = 300 square feet per square inch for a roof covered with gravel or slag and with a pitch not exceeding ¼ inch per foot; or

**DIVISION 5. CERTIFICATE OF USE
AND OCCUPANCY**

Sec. 4-116. Required.

(a) *New buildings.* No building erected shall be used or occupied in whole or in part until the Certificate of Use and Occupancy has been issued by the Inspection Supervisor.

(b) *Alteration of building.* No building enlarged, extended or altered to change from one use to another, in whole or in part, and no building altered for which a certificate of use in occupancy has not been issued, shall be occupied or used until the certificate has been issued by the Inspection Supervisor certifying that the work has been completed in accordance with the provisions of that approved permit, except that any use or occupancy which was not discontinued during the work of alteration shall be discontinued within thirty (30) days after the completion of the alteration unless the required certificate is secured from the Inspection Supervisor.

(Code 1965, §14.08(1), (2); Ord 32-92, §1, 3-18-92; Ord 174-93, §1, 10-19-93; Ord 118-96, §1, 12-18-96)

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When a building or structure is entitled thereto, the Inspection Supervisor shall issue a *Certificate of Use and Occupancy* within a reasonable length of time after written application.

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No change of use shall be made unless all the applicable provisions of this chapter are complied with. No change from one prohibited use to any other prohibited use shall be permitted.

(Code 1965, §14.08(4))

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Upon the request of a holder of a permit, the Inspection Supervisor may issue a temporary certificate of occupancy for a building or structure or part thereof before the entire work covered by the permit has been completed, provided such portion may be occupied safely prior to full completion of the building without endangering life or public welfare.

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(Code 1965, §14.07(3); Ord 176-93, §1, 10-19-93; Ord 118-96, §1, 12-18-96)



CARL SCOTT - ARCHITECT/PLANNER

New Architecture
Suite 1 601 West College Avenue
Appleton, Wisconsin 54911
Phone 920 738-7707 FAX (920) 738-7707

FAX COVER SHEET

DATE: 11.11.02
SEND TO: Appleton Bldg. Inspection
FAX NUMBER: 832-6464
ATTENTION: Tom Ebel
SUBJECT: "Something Sweet" shop
411 W. College

MESSAGE:

Copy of email to Minh Tran
regarding the above project.

TOTAL NUMBER OF PAGES, INCLUDING COVER SHEET 2

SIGNED BY: Carl Scott, AIA

Dear Sir:

On Friday I attended a meeting with the Appleton Bldg. Inspections Dept. and Fire Inspections regarding the above project. The Asst. Fire Chief indicated that they had received a change of occupancy determination for the basement kitchen area from Tom Casper. Mr. Casper indicated that the kitchen is Group F1 and requires a 3 hour separation. I disagree with this determination. A restaurant kitchen is not a food processing plant or a bakery. The IBC seems to have missed this point. I firmly believe that it should be in the Group F2 as a low hazard use with a two hour separation.

Also due to the required two hour floor system at the underside of the existing basement floor wood joist we have less than 7'-0". The finish ceiling height varies from 6'-8" to 6'-6". This also affects three egress doors which the Contractor was forced to reduce to 6'-3" in height. Under the old building code we did have a minimum 6'-4" door height which reflected the lower basement ceiling heights found in older structures like those found in the Appleton downtown business district. We can't raise the building structure or lower the concrete floor.

The last item of concern is a single steel beam that crosses the basement egress hallway. The clear height to the underside of the beam is 6'-2". We propose to pad this beam and provide warning signs to alert employees to this situation. Please note that the public is not allowed in this area and only two to three employees will access through the hallway.

Please contact me so we discuss potential solutions.

Sincerely,

Carl Scott, AIA

6 1/2"

11/11/02 13:40 FAX 920 766 4756

MCWPH



FAX TRANSMITTAL FORM

**MCCARTY CURRY WYDEVEN
PEETERS & HAAK, LLP**
Attorneys at Law

DATE: November 11, 2002

FAX NO.: 832-6489

TO: Jim Dallman

TIME: 1:40 P.M.

FROM: Scott Barr

RE: Something Sweet, LLC - Continuation of Construction Activities

Total number of pages including this cover sheet: 2

MESSAGE:

Post Office Box 840
120 East Fourth Street
Kaukauna, Wisconsin
54130-0840
Phone: 920.766.4693
Fax: 920.766.4756
www.mccarty-law.com

Hard Copy to Follow: No

Transmitted by: Amy B.

Irving G. Curry III,
of Counsel

Dennis M. Wydeven

John L. Peeters

Randall A. Haak

John A. Esler

I. Gregg Curry IV

John J. Russo

Steven J. Cerasoli

Scott C. Barr

Stephen C. Dozer

Kevin L. Eismann

Reg P. Wydeven

Christine M. Wanless

Kurt Wanless

Timothy J. Helbing

**IF YOU DO NOT RECEIVE ALL PAGES OR HAVE ANY PROBLEM WITH
RECEIVING THIS TRANSMISSION, PLEASE CALL AS SOON AS POSSIBLE.
920.766.4693**

FAX NUMBER: 920.766.4756

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telephone and return the original message to us by mail. Thank you.

11/11/02 13:40 FAX 920 766 4756

MCWP&H



MCCARTY CURRY WYDEVEN
PEETERS & HAAK, LLP

ATTORNEYS AT LAW

VIA FAX TRANSMITTAL

November 11, 2002

Mr. Jim Dallman
Inspection Supervisor
100 N. Appleton Street
Appleton WI 54911

Dear Mr. Dallman,

RE: Something Sweet, LLC - Continuation of Construction Activities

Thanks for taking the time to meet with us on Friday, November 7. As you will recall, Something Sweet, LLC is the tenant in the building located at 411 West College Avenue and is in the process of preparing the space to be used as a restaurant. Construction activities were halted on Friday morning by order of the City's inspector, due to there being certain issues to be resolved with regard to fire safety requirements, basement door clearances and storm water connections.

As we discussed, we are confirming in writing our understanding that construction activities may continue at the site while these issues are resolved. It is also our understanding that Something Sweet, LLC is, by continuing construction, assuming the risk that the resolution of the fire safety requirements, basement door clearances and storm water connections might not be as they hope and that they might be required to remove and replace some of the work done during this period, incurring additional expense and delay.

If you have any questions or comments, please feel free to contact me.

Yours very truly,

MCCARTY CURRY WYDEVEN PEETERS & HAAK, LLP

Scott C. Barr

Copies to Ms. Theresa Henning
Mr. Carl Scott
Mr. Doug Schmidt

120 East Fourth Street
Post Office Box 860
Kaukauna, Wisconsin
54130-0860

Phone: 920. 766. 4693
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Appleton city government exists to provide quality services responsive to the needs of the community

DEPARTMENT OF PUBLIC WORKS
Inspection Division
100 North Appleton Street
Appleton, WI 54911
Telephone: (920)832-6411
Fax: (920)832-6464

November 14, 2002

Paul R. Jonas
The Polacheck Company, Inc.
2109 E. Capitol Drive
Appleton, WI 54911-8726

FAXED:
Paul Jonas 920-997-3338
November 14, 2002

RE: 411 West College Avenue

Dear Mr. Jonas:

This letter is given according to our conversation of November 14, 2002 and your request for a summary of currently know issues regarding occupancy of "Something Sweet" 411 West College Avenue.

Building Code Issues:

- We have received correspondence dated 11/11/02 from Architect Carl Scott regarding subject property. Architect Scott's correspondence includes a memo to Minh Tran, State Plan Examiner, listing several non-conforming conditions regarding the project at subject location and asking Examiner Tran to comment as the acceptability of the nonconformities.
- I spoke briefly with Building Inspector Tom Ebel this morning. Inspector Ebel said he has no building code concerns at this time that are not given in Architect Scott's memo.

Plumbing Code Issues

In addition to the building code concerns given above, the following plumbing code requirements must be met before a certificate of occupancy can be granted.

- The water supply to the building must be sized and installed to comply with Comm 82.40 (State Plumbing Code). Plumbing plans, including water calculations, must be submitted to the City of Appleton Plumbing Inspector for review and approval.
- Connection to the City storm sewer system must be made at the front of the building. This will require excavation at the front of the building. This is a requirement of City Ordinance (Sec. 4-270 & 4-271) and the State Plumbing Code (Comm 82.36).

Electrical Code Issues:

- There are several items of electrical work to be completed. These items are known to the electrical contractor and work to comply with the requirements is presumed to be in progress.

Heating and Ventilating Issues

- The HVAC plans have not been approved by the State yet. The design of hood venting is apparently not complete.
- Penetrations of fire resistive assemblies need to be protected per code requirements.

Sign Code Issues

- A sign permit may be required, depending on the extent and nature of proposed signage. A street occupancy permit is needed for any structure that extends over the public right-of-way.

Planning Issues

- There are no known planning issues. Contact Sindee Kleckner (832-6460) for confirmation.

Fire Department Issues

- Contact Fire Marshal Vernon Green for more information (832-5813)

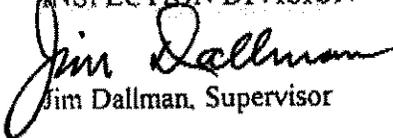
Health Department Issues

- Contact Supervisor Tim Mirkes for more information (832-6429)

This is a summary significant issues known at this time. As you know, issues can arise at any point in a project, so this can't be confirmed as a final list. Final inspections are required, and all requirements met, before a certificate of occupancy can be issued.

Please let me know if I can be of further assistance.

INSPECTION DIVISION


Jim Dallman, Supervisor

Enclosed: City Ordinance, Sections 4-270 & 4-271
State Plumbing Code, Section 82.36
Carl Scott Fax dated 11/11/02
City Ordinance Chapter 4, Division 5, "Certificate of Use and Occupancy"
City Ordinance Chapter 4, Section 4-98. "Final Inspection"

Cc: Architect Carl Scott
Attorney Steve Dozer
Bill Siebers, Mayor's Office
Ald. Kalata
Inspector Tom Ebel ✓
Inspector Roger Walbrun
Inspector Tom Collins
Inspector Craig Arnold
Sindee Kleckner, Deputy Planning Director
Tim Mirkes, Health Dept.

APPLETON CODE

Sec. 4-270. Connection to public sewers and water mains required.

(a) Whenever public sewers and water mains are laid along and within any public street, alley or place in the City and ready for use, the Inspection Supervisor shall notify in writing all owners or their agents and occupants of all houses, tenements and other buildings used for human habitation situated on lots or parcels of land abutting upon such street, alley or place which is accessible to such sewer and water main, to connect therewith and to connect all bathtubs, water closets, lavatories, sinks and urinals upon their respective lots or parcels of land with the sewer in a sanitary manner in accordance with the state plumbing code within thirty (30) days after service of such a notice. In a district zoned commercial, light manufacturing or heavy industrial all buildings other than those used for residential purposes shall be connected to storm sewers, where available, upon order of the Inspection Supervisor.

(b) Whenever public mini-storm sewers or storm laterals are laid along and within any public street, alley or place in the City and ready for use, property owners shall, upon notice from the City, connect to the facility provided to their particular property. All connections shall be in a manner in accordance with the State Plumbing Code. Failure of the property owner to connect within the time period specified in said notice shall result in said connection being made by the City of Appleton and all charges being assessed against the property as a special charge.

(c) If any such owner, agent or occupant shall fail to comply with such notice, the Inspection Supervisor or the Board of Public Works, shall cause such connections to be made and the cost thereof assessed as a special tax against the lots or parcels of land and the amount thereof shall be levied and collected in the same manner as other taxes, pursuant to W.S.A. §144.06.

(d) After connection to a water main and public sewer, no septic system shall be constructed or maintained upon any such lot or parcel and shall be abated upon thirty (30) days written notice for such abatement by the Inspection Supervisor. If not so abated, the Inspection Supervisor shall cause the same to be done and the cost thereof assessed as a special tax against the property and the amount shall be levied and collected in the same manner as other taxes, pursuant to W.S.A. §144.06. The abatement should be conducted pursuant to, Wisconsin Administrative Code COMM 83.03(2).

(e) The Board of Public Works may extend the time for connection hereunder or may grant temporary relief where strict enforcement of this section would work as unnecessary hardship

without corresponding public or private benefit. (Code 1965, §7.04, § 7.04(1)-(4); Ord 32-92, §1, 3-18-92; Ord 174-93, §1, 10-19-93; Ord 118-96, §1, 12-18-96; Ord 15-97, §1, 3-5-97; Ord 85-97, §1, 10-15-97)

Sec. 4-271. Discharge of drains and sewers.

(a) No person shall discharge domestic sewage, industrial wastes or septic tank effluent onto the surface of the ground, into any drainage ditch, into any river or stream or into any storm sewer or drain, or permit such materials to be so discharged.

(b) Roof leaders, surface drains, groundwater drains, foundation footing drains and other clear water drains shall be connected wherever possible with a storm sewer, but they shall not be connected to a building sewer which discharges into a sanitary sewer or private sewage treatment plant. Air conditioning and clear water drains not described in this subsection shall also discharge to storm drains or sewers, unless special permission is obtained from the Inspection Supervisor in cases where an unnecessary hardship would result and where the spirit of this subsection would be observed. If stormwater or clear water is being discharged into a sanitary sewer the Inspection Supervisor shall give the offending person fifteen (15) days' notice to disconnect. Failure to disconnect after such notice shall authorize the Director to cause disconnection and assessment of the costs of such disconnection against the property involved. The Director may, in the alternative, institute action for violation of this subsection. (Code 1965, §16.09; Ord 32-92, §1, 3-18-92; Ord 174-93, §1, 10-19-93; Ord 118-96, §1, 12-18-96)

Sec. 4-272. Sealing of unused sewer and water services.

(a) All sewer and water laterals or building sewers and water services installed and not immediately used shall be securely sealed so as to be watertight. This shall be done by the use of proper fittings and materials manufactured for that purpose and in a manner approved by the Inspection Supervisor.

(b) Before any building connected to City sanitary sewer or water mains is razed or moved to another location, a permit shall be obtained by a master plumber from the Inspection Supervisor to disconnect and seal all sanitary sewer and water services serving the premises. The sewer shall be disconnected at the main sewer and sealed as specified for new unused connections, except that where the owner can demonstrate in a manner acceptable to the City that the condition of the sewer service pipe is not permitting groundwater inflow to enter the sanitary sewer main, the sewer service pipe may be sealed at the street right-of-way line. The water service shall be disconnected and sealed at a location point determined by the Water Utility.

Comm 82.35

WISCONSIN ADMINISTRATIVE CODE

c. The bottom of the frost sleeve shall terminate 6 to 12 inches above the top of the drain piping or at least 6 inches below the predicted frost depth in accordance with s. Comm 82.30 Table 82.30-6.

d. The frost sleeve shall have a removable watertight top of sufficient thickness and strength to sustain the weight of anticipated traffic.

Note: See Appendix for further explanatory material.

(b) **Concealed piping.** Cleanout access for drain piping located in concealed spaces shall be provided by either extending the cleanout to at least the surface of a wall or floor or by providing access panels of a sufficient size to permit removal of the cleanout plug and proper cleaning of the pipe.

(6) **CLEANOUT SIZE.** Cleanouts and cleanout extensions shall be sized in accordance with Table 82.35.

(7) **PROHIBITED USE OF CLEANOUT OPENINGS.** Cleanout openings shall not be used for the installation of fixtures or floor drains, except where another cleanout of equal access and capacity is provided.

(8) **MANHOLES.** (a) *Diameter.* The minimum diameter of manholes shall be 42 inches. A manhole shall have a minimum access opening of 24 inches.

(b) *Materials.* Manholes shall be constructed of approved materials in accordance with ch. Comm 84 and in accordance with the design provisions of s. NR 110.13.

Notes: The provisions of NR 110.13 regarding the manhole's flow channel, watertightness, and drop pipe indicate the following specifications:

--The flow channel through manholes shall be made to conform to the shape and slope of the sewer.

--Solid watertight manhole covers are to be used whenever the manhole tops may be flooded by street runoff or high water. Where groundwater conditions are unfavorable, manholes of brick or block shall be waterproofed on the exterior with plastic coatings supplemented by a bituminous waterproof coating or other approved coatings. Inlet and outlet pipes are to be joined to the manhole with a gasketed flexible watertight connection or any watertight connection arrangement that allows differential settlement of the pipe and manhole wall to take place.

--An outside drop pipe is to be provided for a sewer entering a manhole where the invert elevation of the entering sewer is 2 feet or more above the spring line of the outgoing sewer. The entire drop connection shall be recessed in the concrete. Inside drop connection may be approved on a case-by-case basis.

Note: See Appendix for further explanatory material.

**Table 82.35
CLEANOUT SIZES**

Diameter of Pipe Served by Cleanout (inches)	Minimum Diameter of Cleanout Extension (inches)	Minimum Diameter of Cleanout Opening (inches)
1½	1½	1½
2	1½	1½
3	3	2½
4	4	3½
5	5	4
6	6	5
8 and larger	6	6

History: Cr. Register, February, 1985, No. 350, eff. 3-1-85; am. (3) (i), r. and rec. (3) (j), Register, May, 1988, No. 389, eff. 6-1-88; am. (3) (a) 2. s., Register, August, 1991, No. 428, eff. 9-1-91; r. and rec. (3) (j) and (5) (a) 2. s., Register, February, 1994, No. 458, eff. 3-1-94.

Comm 82.36 Storm and clear water drain systems.

(1) **SCOPE.** The provisions of this section set forth the requirements for the design and installation of storm and clear water drain systems including storm building drains and sewers.

(2) **MATERIALS.** All storm and clear water drain systems shall be constructed of approved materials in accordance with ch. Comm 84.

(3) **DISPOSAL.** (a) *Storm sewer.* Storm water, surface water, groundwater and clear water wastes shall be discharged to a storm sewer system or a combined sanitary-storm sewer system where available. Combined public sanitary-storm sewer systems shall

be approved by the department of natural resources. Combined private sanitary-storm sewer systems shall be approved by the department.

(b) *Other disposal methods.* 1. Where no storm sewer system or combined sanitary-storm sewer system is available or adequate to receive the anticipated load, the final disposal of the storm water, surface water, groundwater or clear water wastes shall be discharged in accordance with local governmental requirements. If the final disposal of such waters or wastes is by means of subsurface discharge, documentation shall be submitted to this department to determine whether the method of disposal is acceptable.

2. Where approved by the local governmental authority, storm water, surface water, groundwater and clear water wastes of the properties of one- and 2-family dwellings may be discharged onto flat areas, such as streets or lawns, so long as the water flows away from the buildings and does not create a nuisance.

3. The waste from a drinking fountain, water heater relief valve, storage tank relief valve, water softener, or iron filter shall be discharged to a sanitary drain system or a storm drain system.

Note: See also s. NR 811.29 for setbacks to wells.

4. The clear water wastes from equipment other than those listed in subd. 3. may be discharged to a sanitary drain system which connects to a publicly owned treatment works, if not more than 20 gallons of clear water wastes per day per building are discharged.

5. The wastes from a floor drain located in a municipal well pump house, a water testing sink within a municipal well pump house or a one- and 2-family garage shall be discharged to a sanitary drain system or to ground surface.

(c) *Segregation of wastes.* 1. a. Except as provided in subd. 1. b., where a sanitary sewer system and a storm sewer system are available the drain piping for storm water or clear water wastes may not connect to any part of the sanitary drain system.

b. Where a combined sanitary-storm sewer system is available storm water wastes, clear water wastes and sanitary wastes may not be combined until discharging to the building sewer.

2. Storm water wastes and clear water wastes shall not be combined until discharging into the storm building drain.

(4) **LOAD ON DRAIN PIPING.** (a) *Storm water drainage.* The load factor on storm water drain piping shall be computed in terms of gallons per minute or on the square footage of the horizontal projection of roofs, paved areas, yards and other tributary areas based on a minimum of 3.7 inches per hour and the surface area to gallons per minute (gpm) conversion factors in Tables 82.36-1 to 82.36-3.

(b) *Continuous flow devices.* Where there is a continuous or semicontinuous discharge into the storm building drain or storm building sewer, as from a pump, air conditioning unit, or similar device, each gallon per minute of such discharge shall be computed as being equivalent to 26 square feet of roof area.

(5) **SELECTING SIZE OF STORM AND CLEAR WATER DRAIN PIPING.**

(a) *Horizontal storm water drain piping.* The pipe size for horizontal drain piping for storm water shall be determined from Tables 82.36-1 to 82.36-4a, or a detailed engineering analysis acceptable to the department.

(b) *Vertical conductors for storm water.* 1. A vertical conductor for storm water shall not be smaller than the largest horizontal branch connected thereto.

2. Vertical conductors shall be sized in accordance with Table 82.36-5 or the diameter D, where

$$D = 1.128 \sqrt{\frac{A}{X}}$$

where, A = the area of the roof in square feet

X = 300 square feet per square inch for a roof covered with gravel or slag and with a pitch not exceeding ¼ inch per foot; or

**DIVISION 5. CERTIFICATE OF USE
AND OCCUPANCY**

Sec. 4-116. Required.

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(b) *Alteration of building.* No building enlarged, extended or altered to change from one use to another, in whole or in part, and no building altered for which a certificate of use in occupancy has not been issued, shall be occupied or used until the certificate has been issued by the Inspection Supervisor certifying that the work has been completed in accordance with the provisions of that approved permit; except that any use or occupancy which was not discontinued during the work of alteration shall be discontinued within thirty (30) days after the completion of the alteration unless the required certificate is secured from the Inspection Supervisor.

(Code 1965, §14.08(1), (2); Ord 32-92, §1, 3-18-92; Ord 174-93, §1, 10-19-93; Ord 118-96, §1, 12-18-96)

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Upon written request from the owner of an existing building, the Inspection Supervisor shall issue a *Certificate of Use and Occupancy*, provided there are no violations of law or orders of the Inspections Supervisor pending and it is established after inspection and investigation that the alleged use of the building has heretofore existed. Nothing in this chapter shall require the removal, alteration or abandonment of or prevent the continuance of the use and occupancy of a lawfully existing building, unless such use is deemed to endanger public safety and welfare.

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Sec. 4-119. Changes in use and occupancy.

No change of use shall be made unless all the applicable provisions of this chapter are complied with. No change from one prohibited use to any other prohibited use shall be permitted.

(Code 1965, §14.08(4))

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Upon the request of a holder of a permit, the Inspection Supervisor may issue a temporary certificate of occupancy for a building or structure or part thereof before the entire work covered by the permit has been completed, provided such portion may be occupied safely prior to full completion of the building without endangering life or public welfare.

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Upon completion of the work for which the permit is issued under this article and before issuance of a certificate of use and occupancy, a final inspection shall be made and all violations of the approved plans and permit shall be noted and the holder of the permit shall be notified of the discrepancies. Upon approval, the Inspections Division shall post a *Certificate of Inspection* on the job. After such certificate has been posted, no structural part of the building shall be changed.
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CARL SCOTT - ARCHITECT/PLANNER

New Architecture
Suite 1 601 West College Avenue
Appleton, Wisconsin 54911
Phone 920 738-7707 FAX (920) 738-7707

FAX COVER SHEET

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SEND TO: Appleton Bldg. Inspection
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SUBJECT: "Something Sweet" shop
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MESSAGE:
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TOTAL NUMBER OF PAGES, INCLUDING COVER SHEET 2

SIGNED BY: Carl Scott, AIA

Dear Sir:

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Please contact me so we discuss potential solutions.

Sincerely,

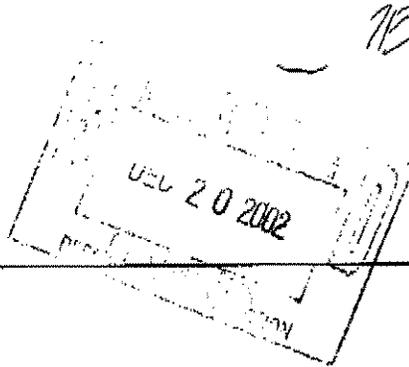
Carl Scott, AIA

6' 1/2"



Safety and Buildings
2331 SAN LUIS PLACE
GREEN BAY WI 54304
TDD #: (608) 264-8777
www.commerce.state.wi.us/sb
www.wisconsin.gov

Scott McCallum, Governor
Phillip Edw. Albert, Secretary



December 16, 2002

CUST ID No. 685586

CARL SCOTT
C SCOTT ARCHITECT PLANNER
601 W COLLEGE AVE STE 1
APPLETON WI 54911

RESPONSE TO DESIGNER'S QUESTION

Identification Numbers
Transaction ID No. 777068
Site ID No. 649220
Please refer to both identification numbers, above, in all correspondence with the agency.

SITE:

Something Sweet LLC
411 W College Ave
City of Appleton
Outagamie County

FOR:

Object Type: Building ICC Regulated Object ID No.: 866176
Major Occupancy: Assembly; Type IIIB Exterior Noncombustible Unprotected Class of Construction; Alteration Plan;
4,056 Project Sq. Ft; Unsprinklered; Occupancy: A-2 Dining & Drinking; Component Included In This Transaction:
HVAC ICC; Allowable Area Determined By: Separated Use

This letter is written in response to the letter, dated December 12, 2002, from the supervising professional (see attached).

If the existing second floor apartment is NOT being altered in any way AND if this apartment is governed by the requirements of the Commercial Building Code, it will be assumed that this floor level was code-compliant with the building code in effect at the time of its original construction. As the Code does not apply retroactively (except where specifically referenced), no upgrades to the current code would be required.

However, if there are any alterations taking place in the second floor apartment, then the provisions of the current code would apply to the area(s) being altered AND to the area(s) affected by what is being altered (see Comm 61.03(7)), to the extent described in the S&B website. In this case, upgrades to the current code would be required.

Inquiries concerning this correspondence may be made to me at the telephone number listed below, or at the address on this letterhead. Please refer to the Transaction ID No. referenced above when making an inquiry or submitting additional information.

Sincerely,

Minh Tran
Engineering Consultant, Integrated Services
(920) 492-7730, Fax: (920) 492-5604
Monday - Friday 7:00 am to 3:30 pm CST
E-mail: mtran@commerce.state.wi.us

cc: Contracting Specialist Inc
John R Anderson, Building Inspector, (715) 823-2014, Monday, 7:45 A.M. - 4:30 P.M.
Building Inspection City of Appleton
Theresa Henning



RECEIVED
DEC 13 2002
SAFETY & BLDGS. DIV.

CARL SCOTT AIA - ARCHITECT/PLANNER

Suite 1 601 West College Avenue
Appleton, Wisconsin 54911
Phone (920) 738-7707 FAX (920) 738-7707

December 12, 2002

Dept. of Commerce
Safety & Buildings.
2331 San Luis Place
Green Bay, WI 54304

Attn: Minh Tran

Re: Interior Alterations
Something Sweet Shop
411 W. College Ave.
Appleton, WI
Trans. ID # 777068

Dear Sir:

The Owner of the above referenced project is asking if the existing second floor apartment can still use the existing jump platform as the second exit in lieu of constructing a new open exterior stair. This appears to be allowed according to the information posted on the S&B website on November 7, 2002. Please review and let me know of your decision. Thank you.

Sincerely,

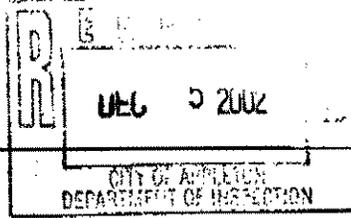
Carl J. Scott, AIA

Cc: Tom Ebel, Appleton Bldg. Inspector



Safety and Buildings
2331 SAN LUIS PLACE
GREEN BAY WI 54304
TDD #: (608) 264-8777
www.commerce.state.wi.us/sb
www.wisconsin.gov

Scott McCallum, Governor
Philip Edw. Albert, Secretary



December 02, 2002

CUST ID No. 685586

CARL SCOTT
C SCOTT ARCHITECT PLANNER
601 W COLLEGE AVE STE 1
APPLETON WI 54911

CLARIFICATION OF OCCUPANCY USE GROUPS

Identification Numbers
Transaction ID No. 777068
Site ID No. 649220
Please refer to both identification numbers, above, in all correspondence with the agency.

SITE:

Something Sweet LLC
411 W College Ave
City of Appleton
Outagamie County

FOR:

Object Type: Building ICC Regulated Object ID No.: 866176
Major Occupancy: Assembly; Type IIIB Exterior Noncombustible Unprotected Class of Construction; Alteration Plan;
4,056 Project Sq. Ft; Unsprinklered; Occupancy: a-2 Dining & Drinking; Component Included In This Transaction:
HVAC ICC; Allowable Area Determined By: Separated Use

Upon further review of the building plans for the project referenced above, additional discussion with the City of Appleton Fire Inspector and at the request of the supervising professional for the project, the following items are being clarified:

- Question: *What is the occupancy classification of the kitchen (i.e., room B-2) at the basement level?*

Answer: This space would be classified as a Factory Group F-1 occupancy.
- Question: *What type of occupancy separation(s) is(are) required between the different occupancies within this building, if any?*

Answer: This building appears to meet the height and area limitations of IBC Table 503, based on the class of construction (i.e., Type IIIB) and the most restrictive occupancy use group (i.e., Group A-2 occupancy). Per IBC Table 503, the tabular maximum allowable area per floor and tabular maximum allowable building height above grade plane is 9,500 square feet and 2 stories, respectively. As each floor level is less than 9,500 square feet and the building does not exceed 2 stories in height above grade plane for this particular class of construction, the project referenced above complies with the Nonseparated Use provisions of IBC Section 302.3.2. Consequently, no occupancy separations are required for the major use groups (i.e., Groups A-2, F-1 and R-3). However, since the storage room in the basement exceeds 100 square feet, it is considered an incidental use area per IBC Section 302.1.1. As a result, this space must be completely enclosed with at least 1-hour fire-resistance rated construction (see IBC Sections 706 and 710 for assembly requirements) with the appropriate opening protectives (see IBC Section 714.2). Please disregard Item #1 in the Wisconsin Department of Commerce Communication letter dated October 17, 2002.
- Question: *What building code applies to this submittal?*

Answer: As this building involves a change of use to a more restrictive occupancy use group (from a Group M to a Group A-2 occupancy) and was received by our office after July 01, 2002, the provisions of the Wisconsin-amended version of the International Building Code (IBC) apply (see Comm 61.03(10)), unless specifically amended via a petition for variance. This decision has been confirmed via a directive from the Deputy Administrator of this agency.

All of the items listed above are in addition to previous communication letters (except as indicated above) and the CONDITIONAL APPROVAL letter dated October 05, 2002.

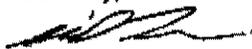
RL SCOTT

Page 2

12/2/02

Inquiries concerning this correspondence may be made to me at the telephone number listed below, or at the address on this letterhead. Please refer to Transaction ID No. referenced above when making an inquiry or submitting additional information.

Sincerely,



Minh Tran
Engineering Consultant, Integrated Services
(920) 492-7730, Fax: (920) 492-5604
Monday - Friday 7:00 am to 3:30 pm CST
E-mail: mtran@commerce.state.wi.us

cc: Contracting Specialist Inc
John R Anderson, Building Inspector, (715) 823-2014, Monday, 7:45 A.M. - 4:30 P.M.
Building Inspection City of Appleton
Theresa Henning



Safety and Building
2331 SAN LUIS PLACE
GREEN BAY WI 54301
TDD #: (608) 264-8777
www.commerce.state.wi.us/sb
www.wisconsin.gov

Scott McCallum, Governor
Philip Edw. Albert, Secretary

December 02, 2002

CUST ID No. 685586

CARL SCOTT
C SCOTT ARCHITECT PLANNER
601 W COLLEGE AVE STE 1
APPLETON WI 54911

CLARIFICATION OF OCCUPANCY USE GROUPS

SITE:

Something Sweet LLC
411 W College Ave
City of Appleton
Outagamie County

FOR:

Object Type: Building ICC Regulated Object ID No.: 866176
Major Occupancy: Assembly; Type IIIB Exterior Noncombustible Unprotected Class of Construction; Alteration Plan:
4,056 Project Sq. Ft; Unsprinklered; Occupancy: a-2 Dining & Drinking; Component Included In This Transaction:
HVAC ICC; Allowable Area Determined By: Separated Use

Identification Numbers
Transaction ID No. 777068
Site ID No. 649230
Please refer to both identification numbers, above, in all correspondence with the agency.

Upon further review of the building plans for the project referenced above, additional discussion with the City of Appleton Fire Inspector and at the request of the supervising professional for the project, the following items are being clarified:

- Question:** *What is the occupancy classification of the kitchen (i.e., room B-2) at the basement level?*

Answer: This space would be classified as a Factory Group F-1 occupancy.
- Question:** *What type of occupancy separation(s) is(are) required between the different occupancies within this building, if any?*

Answer: This building appears to meet the height and area limitations of IBC Table 503, based on the class of construction (i.e., Type IIIB) and the most restrictive occupancy use group (i.e., Group A-2 occupancy). Per IBC Table 503, the tabular maximum allowable area per floor and tabular maximum allowable building height above grade plane is 9,500 square feet and 2 stories, respectively. As each floor level is less than 9,500 square feet and the building does not exceed 2 stories in height above grade plane for this particular class of construction, the project referenced above complies with the Nonseparated Use provisions of IBC Section 302.3.2. Consequently, no occupancy separations are required for the major use groups (i.e., Groups A-2, F-1 and R-3). However, since the storage room in the basement exceeds 100 square feet, it is considered an incidental use area per IBC Section 302.1.1. As a result, this space must be completely enclosed with at least 1-hour fire-resistance rated construction (see IBC Sections 706 and 710 for assembly requirements) with the appropriate opening protectives (see IBC Section 714.2). Please disregard Item #1 in the Wisconsin Department of Commerce Communication letter dated October 17, 2002.
- Question:** *What building code applies to this submittal?*

Answer: As this building involves a change of use to a more restrictive occupancy use group (from a Group M to a Group A-2 occupancy) and was received by our office after July 01, 2002, the provisions of the Wisconsin-amended version of the International Building Code (IBC) apply (see Comm 61.03(10)), unless specifically amended via a petition for variance. This decision has been confirmed via a directive from the Deputy Administrator of this agency.

All of the items listed above are in addition to previous communication letters (except as indicated above) and the **CONDITIONAL APPROVAL** letter dated October 05, 2002.

CARL SCOTT

Page 2

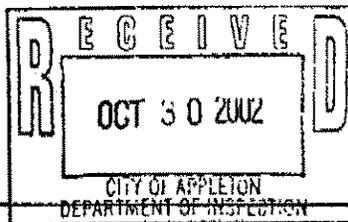
12/2/02

Inquiries concerning this correspondence may be made to me at the telephone number listed below, or at the address on this letterhead. Please refer to Transaction ID No. referenced above when making an inquiry or submitting additional information.

Sincerely,

Minh Tran
Engineering Consultant, Integrated Services
(920) 492-7730, Fax: (920) 492-5604
Monday - Friday 7:00 am to 3:30 pm CST
E-mail: mtran@commerce.state.wi.us

cc: Contracting Specialist Inc
John R Anderson, Building Inspector, (715) 823-2014, Monday, 7:45 A.M. - 4:30 P.M.
Building Inspection City of Appleton
Theresa Henning



Safety and Buildings
2331 SAN LUIS PL STE 150
GREEN BAY WI 54304
TDD #: (800) 264-8777
www.commerce.state.wi.us/sb
www.wisconsin.gov

Scott McCallum, Governor
Philip Edw. Albert, Secretary

October 28, 2002

CUST ID No. 134035

ANDREW J SORENSON
MONROE EQUIPMENT INC
N50 W13941 OVERVIEW DR
MENOMONEE FALLS WI 53052

Fee Required \$	360.00
Fee Received \$	360.00
Balance Due \$	0.00
WiSMART code: 7648	

REQUEST FOR ADDITIONAL INFORMATION

SITE:

Something Sweet LLC
411 W College Ave
City of Appleton
Outagamie County

Identification Numbers	
Transaction ID No.	796631
Site ID No.	649220
Please refer to both identification numbers, above, in all correspondence with the agency.	

FOR:

Object Type: HVAC ICC System Regulated Object ID
No.: 875296
Grease Hood Included; Smoke Detection System

The submittal described above has been placed on **HOLD** and the review and approval is pending subject to receipt of the **ADDITIONAL INFORMATION** and/or revised plans requested by this letter. Upon receipt of the additional information and/or revised plans, the plans will be reviewed for compliance to applicable Wisconsin Administrative Codes and Wisconsin Statutes.

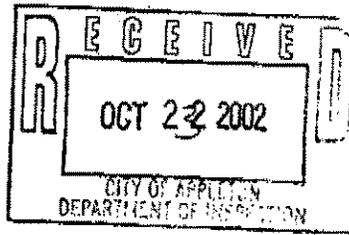
The following must be corrected/revised and accompany the resubmittal:

Key Item(s)

- **IMC 606** Provide a smoke detection system, with appropriate controls, where required by code. The smoke detection system shall shut down the air distribution system upon activation. Smoke detectors shall be connected to a fire alarm system. The activation of a smoke detector shall activate a visible and audible supervisory signal at a constantly attended location unless exceptions are met. The detectors shall be located in the return duct.
- **IMC 403/Comm 64.0403(6)(a)1.** Provide a minimum of outside air in the amount of 7.5 cfm per person in the building. Simultaneously exhaust an equal amount of air. See Comm Table 64.0403. Seating area has a capacity of 87 persons, thus +/- 650 cfm outside air is required. Plans indicate only 200 cfm. Please submit revised plans showing compliance.
- **IBC 715.3.1** Provide a fire damper with a 1.5-hour fire rating for fire-resistance rated assemblies of less than 3 hours. Fire dampers are required at the penetration of each floor level. Please submit revised plans showing compliance.

Reminders

- **IMC 507.2** Provide a Type I kitchen exhaust hood over cooking equipment which produces grease laden vapors. All requirements for hood construction, exhaust rate, enclosure, and fire suppression shall be addressed. The make-up air that is not part of a short cycle hood system, must be tempered air. See IMC 508.
- Submission of revised plans and/or additional information requires additional fees of \$150.00. Please include a copy of this letter with your re-submittal.



DD

Safety and Buildings
2331 SAN LUIS PLACE
GREEN BAY WI 54304
TDD #: (608) 264-8777
www.commerce.state.wi.us/sb
www.wisconsin.gov

Scott McCallum, Governor
Phillip Edw. Albert, Secretary

October 17, 2002

CUST ID No. 685586

CARL SCOTT
C SCOTT ARCHITECT PLANNER
601 W COLLEGE AVE STE 1
APPLETON WI 54911

MODIFICATIONS/ADDITIONAL REQUIREMENTS TO ORIGINAL BUILDING APPROVAL LETTER

Identification Numbers
Transaction ID No. 777068 Site ID No. 649220
Please refer to both identification numbers, above, in all correspondence with the agency.

SITE:

Something Sweet LLC
411 W College Ave
City of Appleton
Outagamie County

FOR:

Object Type: Building ICC Regulated Object ID No.: 866176
Major Occupancy: Assembly; Type IIIB Exterior Noncombustible Unprotected Class of Construction; Alteration Plan;
4,056 Project Sq. Ft; Unsprinklered; Occupancy: A-2 Dining & Drinking; Allowable Area Determined By: Separated Use

It has come to my attention that the following items were not addressed in the initial building plan review and/or the CONDITIONAL APPROVAL letter dated October 05, 2002:

1. Since the designer is indicating that the basement is a Group S-2 occupancy and the first floor is a Group A-2 occupancy, the floor/ceiling assembly between these two levels is required to have at least a 2-hour fire-resistance-rated horizontal assembly per IBC Table 302.3.3. Previously submitted plans show only a 1-hour rated assembly. The construction requirements/specifications for this horizontal assembly shall comply with IBC Section 710, and shall have the minimum hourly rating as specified in IBC Section 703.2. Also, documentation from the building owner shall be provided to the Department to substantiate the intended Group S-2 use of the basement area.
2. Per the direction of the IBC Matrix Chief and Comm 61.03(3), the basement area of the project referenced above is NOT required to meet the provisions of IBC Section 903.2.12.1 - *Stories and basements without openings*. In other words, the basement area is not required to be sprinklered, nor is it required to have openings below grade.
3. All of the items listed above are in addition to the items originally cited in the CONDITIONAL APPROVAL letter dated October 05, 2002.

Inquiries concerning this correspondence may be made to me at the telephone number listed below, or at the address on this letterhead. Please refer to the Transaction ID No. referenced above when making an inquiry or submitting additional information.

Sincerely,

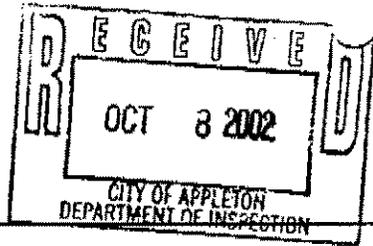
Minh Tran
Engineering Consultant, Integrated Services
(920) 492-7730, Fax: (920) 492-5604
Monday - Friday 7:00 am to 3:30 pm CST
E-mail: mtran@commerce.state.wi.us

RL SCOTT

Page 2

10/17/02

cc: Contracting Specialist Inc
John R Anderson , Building Inspector, (715) 823-2014, Monday, 7:45 A.M. - 4:30 P.M.
Building Inspection City of Appleton
Theresa Henning



TE
 Safety and Buildings
 2331 SAN LUIS PLACE
 GREEN BAY WI 54304
 TDD #: (608) 264-8777
 www.commerce.state.wi.us/sb
 www.wisconsin.gov

Scott McCallum, Governor
 Phillip Edw. Albert, Secretary

October 05, 2002

CUST ID No. 685586

ATTN: Buildings & Structures Inspector

CARL SCOTT
 C SCOTT ARCHITECT PLANNER
 601 W COLLEGE AVE STE 1
 APPLETON WI 54911

BUILDING INSPECTION
 CITY OF APPLETON
 100 N APPLETON ST
 APPLETON WI 54911

CONDITIONAL APPROVAL
 PLAN APPROVAL EXPIRES: 10/05/2003

Identification Numbers
Transaction ID No. 777068
Site ID No. 649220
Please refer to both identification numbers above, in all correspondence with the agency.

SITE:

Something Sweet LLC
 411 W College Ave
 City of Appleton
 Outagamie County

FOR:

Object Type: Building ICC Regulated Object ID No.: 866176
 Major Occupancy: Assembly; Type IIIB Exterior Noncombustible Unprotected Class of Construction; Alteration Plan;
 4,056 Project Sq. Ft; Unsprinklered; Occupancy: A-2 Dining & Drinking; Allowable Area Determined By: Separated
 Use

The submittal described above has been reviewed for conformance with applicable Wisconsin Administrative Codes and Wisconsin Statutes. The submittal has been **CONDITIONALLY APPROVED**. The owner, as defined in chapter 101.01(10), Wisconsin Statutes, is responsible for compliance with all code requirements.

The following conditions shall be met during construction or installation and prior to occupancy or use:

- This review and conditional approval shall apply only to the building alteration described above.
- The designer has chosen to submit one complete set of building plans and (3) accompanying title sheets, dated September 30, 2002, to the Department for review and conditional approval. The designer should note that subsequent plans attached to the conditionally approved title sheets shall be identical to, and shall have the same date as, the complete set retained by the Department. If there are any discrepancies between the complete set retained by the Department and any of the other plan sets assembled after the date of conditional approval, the information contained in the Department set of plans shall prevail.

Reminders

- **Comm 61.05(1) & (5)** Notes referencing COMM 69 and ADAAG are no longer valid. Effective July 01, 2002, the accessibility requirements for commercial buildings shall be in accordance with the requirements of the Wisconsin-amended version of IBC chapter 11 and ANSI A117.1-1998. This note applies to the bathroom fixture and door hardware notes shown on sheet A-3 of the submitted plans.
- **Comm 61.30(3)** This review does not include heating, ventilating or air conditioning. The owner should be reminded that HVAC plans, calculations, and appropriate fees are required to be submitted for review and approval prior to installation. These HVAC plans shall comply with the Wisconsin-amended version of the International Mechanical Code. However, General Note 3 on sheet T-1 specifies compliance with the old COMM Chapter 64.
- **IBC 1003.2.11** Means of egress illumination shall be provided in accordance with the applicable requirements of this section.
- **IBC 2900/Comm 62.2900** Provide a service sink as required by Table 2902.1. The service sink shall be located in a service closet or room provided with supplies for upkeep of the toilet rooms.

RL SCOTT

Page 2

10/3/02

- As of today's date, our records indicate that a refund in the amount listed in the FEE portion of this letter has been initiated and forwarded to a manager for review. The refund will be made under separate cover. Please expect a 6-8 week time period for fiscal processing. Refunds will be made to the payer.

A copy of the approved plans, specifications and this letter shall be on site during construction and open to inspection by authorized representatives of the Department, which may include local inspectors. All permits required by the State or the local municipality shall be obtained prior to commencement of construction/installation/operation.

In granting this approval the Division of Safety & Buildings reserves the right to require changes or additions should conditions arise making them necessary for code compliance. As per State Statutes 101.12(2), nothing in this review shall relieve the designer of the responsibility for designing a safe building, structure, or component.

Inquiries concerning this correspondence may be made to me at the telephone number listed below, or at the address on this letterhead.

Sincerely,



Minh Tran
 Engineering Consultant, Integrated Services
 (920) 492-7730, Fax: (920) 492-5604
 Monday - Friday 7:00 am to 3:30 pm CST
 E-mail: mtran@commerce.state.wi.us

Fee Required \$	390.00
Fee Received \$	430.00
Refund Amt. \$	40.00
WISMART code: 7648	

cc: Contracting Specialist Inc
 John R Anderson, Building Inspector, (715) 823-2014, Monday, 7:45 A.M. - 4:30 P.M.
 Theresa Henning



CARL SCOTT - ARCHITECT/PLANNER

New Architecture
Suite 1 601 West College Avenue
Appleton, Wisconsin 54911
Phone (920) 738-7707 FAX (920) 738-7707

FAX COVER SHEET

DATE: 2.4.03
SEND TO: Appleton Inspections
FAX NUMBER: 832-6464
ATTENTION: Tom Ebel

SUBJECT:
Something Sweet

MESSAGE:
Petition Approval letter

TOTAL NUMBER OF PAGES, INCLUDING COVER SHEET 3

SIGNED BY: Carl Scott



James Doyle, Governor
Cory L. Hettler, Secretary

January 28, 2003

CUST ID No. 685586

ATTN: Buildings & Structures Inspector

CARL SCOTT
C SCOTT ARCHITECT PLANNER
601 W COLLEGE AVE STE 1
APPLETON WI 54911

BUILDING INSPECTION
CITY OF APPLETON
100 N APPLETON ST
APPLETON WI 54911

APPROVAL OF PETITION FOR VARIANCE

SITE:

Something Sweet LLC
411 W College Ave
City of Appleton
Outagamie County

Identification Numbers
Transaction ID No. 833147
Site ID No. 649220
Please refer to both identification numbers, above, in all correspondence with the agency.

FOR: Petition for Variance IBC Section 1003.2.4

Note that a new Transaction ID number (formerly TID # 816394) has been assigned to this petition for variance. Please use this new number for all future correspondence.

The submittal described above has been reviewed for equivalency to applicable Wisconsin Administrative Codes and compliance with Wisconsin Statutes. The submittal has been **CONDITIONALLY APPROVED**. The owner, as defined in section 101.01(10), Wisconsin Statutes, is responsible for compliance with all conditions of this petition approval and other applicable code requirements. Plan submittal and approval by the Department or its agent may be necessary prior to construction undertaken per this petition.

Your Petition for Variance of code section(s) noted above has been reviewed.

The code section petitioned requires that the means of egress shall have a ceiling height of not less than 7 feet (2134 mm).

The variance requested is to permit a ceiling height of not less than 6 feet 7 inches in the north half of the basement (i.e., room B-3).

The intent of the code section petitioned is to provide a safe and adequate ceiling clearance for all building occupants that use the means of egress system.

The petitioner submitted the SBD-9890 application form including 3 additional pages of supporting documents and/or plans.

Reviewer's Comments:

1. The supervising professional has indicated that this is an existing building that is over 100 years old.
2. The supervising professional has indicated that the area with the reduced ceiling height of 6'-7" shall be used as a low hazard storage area (Group S-2 occupancy).
3. Due to the addition of a required 2-hour fire-resistance-rated floor/ceiling assembly, the ceiling height has been reduced by 2 1/4".
4. The supervising professional is proposing to install an early warning smoke detection system throughout all three levels of the building.
5. The occupant load of room B-3 is very low compared to other areas of the building. Also, if the use of this room is limited to employees only, it is reasonable to presume that these employees would be familiar with the lower ceiling height.

AL SCOTT

2

1/28/03

6. IBC Section 1003.2.5.1 allows a minimum 6'-8" headroom clearance for protruding objects. The floor/ceiling assembly could be viewed as a protruding object that reduces the minimum ceiling height by 1 inch.
7. Given the trade-off between rating the floor/ceiling assembly (which reduces the ceiling height in room B-3) and providing the minimum ceiling height in the basement, the floor/ceiling assembly rating would appear to provide a higher degree of safety.
8. The City of Appleton Building Inspection Department and the City of Appleton Fire Department have no comment on this issue.
9. Based on the information provided, I feel that this request for petition can be conditionally approved.

Departmental Action: **CONDITIONAL APPROVAL**

Conditions of Approval:

The following conditions shall be met during construction or installation and prior to occupancy or use:

- All of the petitioner's statements included on the variance application form, any other documents submitted to the Department, and all conditions of approval, if any, listed below shall be carried out. This variance is specific to the subject petition and cannot be used for any additional modifications.
- For ALL locations in the building, the clear ceiling height shall not be less than 6'-7".
- Prior to occupancy, documentation shall be provided to the Department, and its authorized agents, demonstrating that the materials stored in room B-3 meet the requirements of IBC Section 311.3. This information was requested in the past and still has not been received. *If it is determined that room B-3 meets the requirements of a Group S-1 occupancy (IBC Section 311.2), a 3-hour fire-resistance rated floor ceiling assembly shall be provided between the basement and the first floor.*
- Legible, prominent and visible signs shall be posted at each entry to the basement storage area (i.e., signs shall be posted on door mark B-2 and at the foot of stairway S-2). In addition, the wording of these signs shall be in high contrast to the sign's background.
- Abrupt changes in ceiling height shall be sufficiently padded to prevent injury and shall have highly contrasting markings (e.g., tape, paint, etc.) to identify such changes.
- The early warning smoke detection system shall be in accordance with the applicable provisions of NFPA 72.
- Access to room B-3 shall be limited to employees only.
- Door mark B-2 shall be a 90-minute rated door, per IBC Section 714.2.
- Unless modified above, all other items cited in the conditional approval letter and accompanying communication letters shall remain in effect.

This decision will become final unless the Department within 30 days from the date of this letter receives a written request for a hearing. A request for hearing should be sent to the address shown on this letterhead. A copy of this letter must be included with the request for a hearing. The request for hearing should state the reasons for objecting to the Department's decision, because a request for hearing may be denied if it does not present a significant question in fact, law or policy.

Inquiries concerning this correspondence may be made to me at the telephone number listed below, or at the address on this letterhead.

Sincerely,



Minh Tran
Engineering Consultant, Integrated Services
(920) 492-7730, Fax: (920) 492-5604
Monday - Friday 7:00 am to 3:30 pm CST
E-mail: mtran@commerce.state.wi.us

WISCONSIN CODE: 7618

cc: Contracting Specialist Inc
John R. Anderson, Building Inspector, (715) 823-2614, Monday, 7:45 A.M. - 4:30 P.M.
Neil Cameron Fire Chief, Appleton Fire Department
Theresa Henning



CARL SCOTT - ARCHITECT/PLANNER

New Architecture
Suite 1 601 West College Avenue
Appleton, Wisconsin 54911
Phone 920 738-7707 FAX (920 738-7707

FAX COVER SHEET

DATE: 12.12.02
SEND TO: Bldg. Inspection
FAX NUMBER: 832-6464
ATTENTION: Tom Ebel

SUBJECT: Something Sweet Shop
411 W. College

MESSAGE:
Copy of letter to Minh Tran
regarding exist. jump platform

TOTAL NUMBER OF PAGES, INCLUDING COVER SHEET 2

SIGNED BY: Carl Scott



CARL SCOTT AIA - ARCHITECT/PLANNER

Suite 1 801 West College Avenue
Appleton, Wisconsin 54911
Phone (920) 738-7707 FAX (920) 738-7707

December 12, 2002

Dept. of Commerce
Safety & Buildings
2331 San Luis Place
Green Bay, WI 54304

Attn: Minh Tran

Re: Interior Alterations
Something Sweet Shop
411 W. College Ave.
Appleton, WI
Trans. ID # 777068

Dear Sir:

The Owner of the above referenced project is asking if the existing second floor apartment can still use the existing jump platform as the second exit in lieu of constructing a new open exterior stair. This appears to be allowed according to the information posted on the S&B website on November 7, 2002. Please review and let me know of your decision. Thank you.

Sincerely,

Carl J. Scott, AIA

Cc: Tom Ebel, Appleton Bldg. Inspector



CARL SCOTT AIA - ARCHITECT/PLANNER

Suite 1 601 West College Avenue
Appleton, Wisconsin 54911
Phone (920) 738-7707 FAX (920) 738-7707

December 4, 2002

City of Appleton
Building Inspections
200 N. Appleton Avenue
Appleton, WI 54911

Attn: Tom Ebel, Bldg. Inspector

Re: Something Sweet Shop
411 W. College Avenue

Dear Tom:

I contacted Minh Tran for clarification of the statement "Please disregard Item #1 in the Wisconsin Dept. of Commerce Communication letter dated October 17, 2002. He indicated that the building is being considered as unseparated use and the only rated construction required will be one hour assemblies at the Basement Storage room and the two enclosed stairs.

We will still proceed to provide fire-stopping at the areas we discussed on Tuesday, December 3, 2002.

I have a confirmed appointment on January 14, 2003 to review the ceiling height situation in the basement. We will be replacing the existing steel beam to provide a flush ceiling along the direct exit route to the rear basement stair. I firmly believe that our petition will be approved or even determined not to be required.

Any other questions or concerns please contact me.

Sincerely,

Carl F. Scott, AIA



CARL SCOTT AIA - ARCHITECT/PLANNER

Suite 1 601 West College Avenue
Appleton, Wisconsin 54911
Phone (920) 738-7707 FAX (920) 738-7707

November 20, 2002

Contracting Specialists, Inc.
333 N. Commercial Street
Neenah, WI 54956

Attn: Doug Schmidt

Re: Something Sweet Shop
411 W. College Avenue
Appleton, WI
CJS # 2002-012

Dear Doug:

After reviewing the above project at the site and discussion with Tom Ebel, Appleton Bldg. Inspector the following items need to be addressed:

1. Provide fire-stopping along wall/ceiling intersections to maintain the two hour fire seperation. Please contact "Caulking Plus" of Oshkosh at 920-685-6670 for proper application of the fire-stopping. This must occur at all floors.
2. Remove new drywall partition along north-south wall of rear stair from second floor and repair existing plaster removed for new mechanical piping. The existing stair walls are two hour rated and must be maintained. All penetrations must be fire-stopped.
3. After you meet with Caulking Plus let's get together with Tom Ebel to review how we propose to solve the above items.

Sincerely,

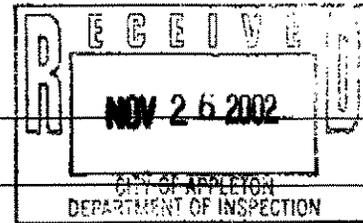
Carl Scott, AIA

Cc: Tom Ebel



CARL SCOTT AIA - ARCHITECT/PLANNER

Suite 1 601 West College Avenue
Appleton, Wisconsin 54911
Phone (920) 738-7707 FAX (920) 738-7707



November 25, 2002

City of Appleton
Building Inspection
200 N. Appleton Street
Appleton, WI 54911

Attn: Tom Ebel, Building Inspector

Re: Something Sweet Shop
411 West College Avenue

Dear Sir:

Minh Tran of Safety & Bldgs. emailed that we will need to file a Petition for Variance in regard to the non-conforming ceiling height in the basement level. We will be filing this request immediately and expect approval in approximately 3-4 weeks. As of this date I have not received any order to change the Kitchen separation of two hours.

The Contractors are in process of completing the remodeling to the First & Second floors for the anticipated December 15, 2002 opening. The Tenant wishes to occupy the First and Second Floor levels prior to the approval of the Petition for Variance. They will be preparing their dessert menu off sight at Trim "B"'s restaurant and only serving in the Something Sweet front seating area. When the Petition is approved the basement level will be completed and occupied.

We are asking if a partial certificate of occupancy and compliance can be issued for the First and Second Floor levels. Please review this request and let me know of your decision. Thank you.

Sincerely,

Carl J. Scott, AIA

CC: Contracting Specialists, Inc.; Paul Jonas

KITCHEN HOOD EXHAUST / OUTSIDE AIR CALCULATIONPROJECT:

SOMETHING SWEET SHOP
411 W. COLLEGE AV.
APPLETON, WI.

HOOD NUMBER:

H-1

HOOD SIZE:

9' 0" X 3' 6"

31.5 \square FACE AREAEXHAUST:31.5 \square X 75 CFM/ \square =

2360 CFM (REF. IMC 507.13.3)

UN-TEMPERED OUTSIDE AIR:

2360 CFM X .65 =

1535 CFM

TEMPERED ROOM AIR:

2360 CFM X .35 =

825 CFM

NOTE: 840 CFM OF TEMPERED ROOM AIR IS AVAILABLE - SEE APPROVED HVAC PLANS. SHEET 1 OF 1.



Adam Knuth Company, Inc.

Representing the Manufacturer — Selling thru Distributors

Date: 12/6/02

Fax to: Doug Schmidt

Company: Contracting Specialists

Fax #: (920)886-8703

Regarding: Firestop Systems - Something Sweet

Number of Pages (incl. cover sheet): 9

From: Kevin Knuth

Please call (414)488-2400 with any questions or problems regarding this transmission. You may fax your response to (414)488-3993.

Message: Doug - I think we've got just about everything covered here, except the drawing for the larger plastic pipe, which I'm still waiting for. I'll be in the office on Monday, if you want to go over any of this on the phone.
Thanks - Kevin

RECTORSEAL

2801 Spenswick Drive
Houston, Texas 77055-1035
www.rectorseal.com

TELEPHONE: 713/263-8001
FAX: 713/263-7577

December 03, 2002

FAX: 414-466-3993
414-466-2400

Mr. Kevin Knuth
Adam Knuth Company, Inc.
12020 W. Feerick Street
Milwaukee, WI. 53222

Dear Mr. Knuth:

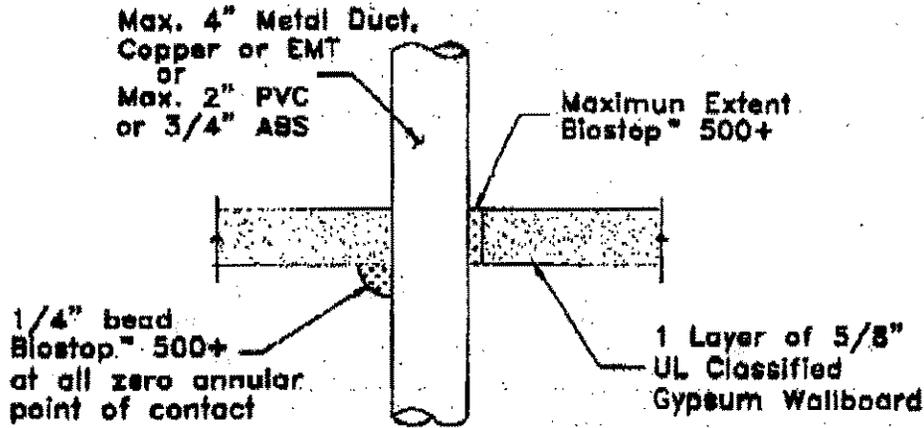
Please find enclosed our installation instructions marked 02-12-09. These installation instructions have been developed from, but are not limited to, data gained from tests we have conducted or from tests such as ASTM E 814, UL 1479 or UL 2079, conducted by nationally recognized, independent testing laboratories (such as: UL®; Warnock Hersey, Factory Mutual, Omega Point, etc.). We also rely on years of experience relating to both the performance characteristics of our products as well as an extensive knowledge of firestopping technology. Each installation instruction is given according to your own individual and unique set of circumstances. Instructions done for one job site condition may not be the same as those given for another. Therefore, these instructions are applicable only for the job it was originally given to and should not be used for any other condition until approved by our Technical Services Department. We, here at RectorSeal, thank you for using our products. If you have any additional questions, please call our office at 1-800-231-3345.

Respectfully,
RECTORSEAL


Mark Malloy
Technical Services

Ref: 02-12-09

BIO FIRESTOPS



SECTION A-A

1) Gun, trowel and/or pump Blastop™ 500+ firestopping sealant to a max. extent possible into annular space around pipe. Trowel sealant surface flush with ceiling level and to a smooth defect-free finish.

Note: Penetrant to be firestopped at entrance/exit point of rated floor/wall assembly.

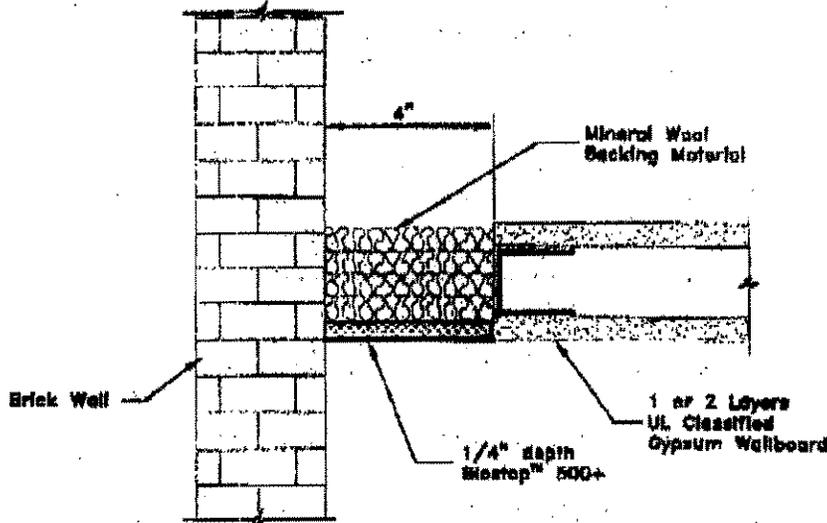
Note: Local Inspector to have final authority at determination of hourly rating of ceiling assembly.

MANUFACTURER'S CERTIFIED INSTALLATION INSTRUCTIONS

MAX. 4" METAL DUCT, 1" COPPER OR EMT OR 3/4" ABS OR 2" PVC HOURLY RATING: 1 HOUR "F" RATING ANNULAR SPACE: MAX. 7/8", MIN. 0"		JOB NO.: UZ-12-08T JOB NAME: SOMETHING SWEET	
		CONTRACTOR: CONTRACTING SPECIALIST DISTRIBUTOR: L.W. MEYER REPRESENTATIVE: ADAM KNUTH CO., INC. 12020 W. FREDRICK STREET MILWAUKEE, WI 53222 MR. KEVIN KNUTH (414) 466-2400	
		FOR ADDITIONAL INFO, SEE: UL AND/OR HARNOCK HERSEY SYSTEM NUMBERS: FC1032, FC2192 WL1116, WL1120	
		DATE 12-04-02 TECH MARK MARK	
		Drawing No. B-12-09f	

All included information contained herein is based on information furnished to us which we believe to be accurate and reliable. The drawing is made on the assumption of proper installation and materials. The drawing is not intended to be a substitute for the manufacturer's instructions. It is recommended that the user obtain a copy of the manufacturer's instructions and/or technical literature for the product before installation. For limited product warranty, refer to specific Product Data Sheet.

Bio FIRESTOPS



1. Properly install and secure into place a 4"-6" depth of min. 4.0 pcf mineral wool insulation into all gaps and voids. Insulation should be installed with top surface flush with the top of the slab.

2. Gun, trowel and/or pump a min. 1/4" depth of Biostop™ 500+ over the insulation bridging the floor and any other adjacent surface.

Note: Local Inspector to have final authority at determination of hourly rating of floor/wall assembly.

Note: Based on test criteria of ASTM E-119/UL2079, a hose stream test is not applicable to a floor condition.

Note: Maximum 2 Hour rating or the maximum time based on the LEAST RATED ADJACENT SURFACE.

Note: User should determine suitability for intended and expected movement.

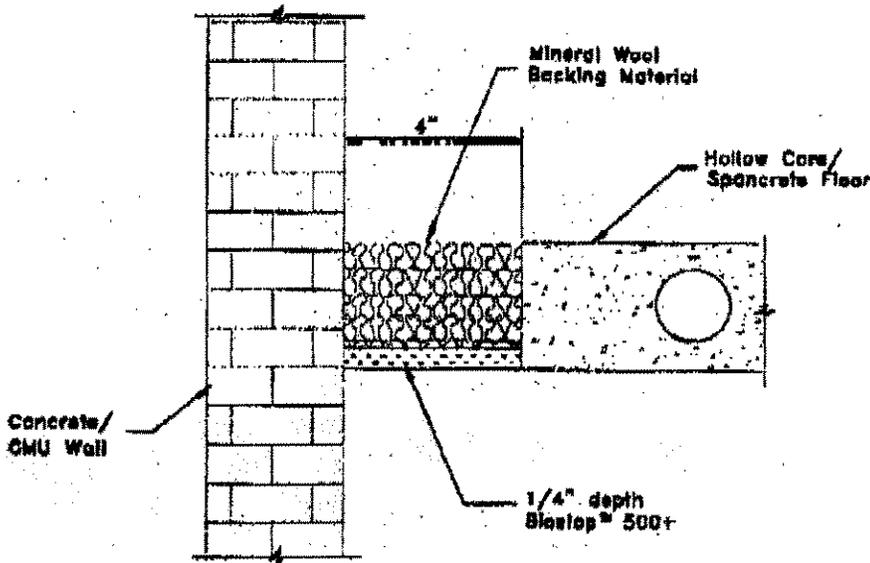
MANUFACTURER'S CERTIFIED INSTALLATION INSTRUCTIONS

MAX: 4" GAP HOURLY RATING: 1 OR 2 HOUR ASSEMBLY RATING ANGLAR SPACE: MAX. " MIN. "	JOB NO.: 02-12-09a JOB NAME: SOMETHING SWEET CONTRACTOR: CONTRACTING SPECIALIST DISTRIBUTOR: L. W. MEYER REPRESENTATIVE: ADAM KNUTH CO., INC. 1820 W. FERRICK STREET MILWAUKEE, WI 53222 MR. KEVIN KNUTH (414) 666-2600
For Additional Info. SEE: UL AND/OR WARNER HERSEY SWITCH NUMBER HWD00019	DATE 12-04-02 TECHNICAL MALLERY
Drawing No. B-12-09a	

All technical information contained herein is based on information furnished to us which we believe to be accurate and reliable. The drawing is based on the contractor's specifications and associated job site conditions and/or requirements furnished to us by a third party and should be fully verified. Biostop should be installed in accordance with the instructions it is intended to be used in this drawing. If it is recommended that you verify approval of the specifying architect, engineer, and/or inspector during installation for full product system compliance. For further product information, refer to specific product data sheets.

N.T.S.

BIO FIRESTOPS



1) With any gaps larger than 1" - Properly install and secure into place a full floor depth of min. 4.0 pcf mineral wool insulation into all gaps and voids. Insulation should be installed with top surface flush with the top of the slab. If mechanically fastening is not applicable, insulation may be cut over size and friction fit, to insure that insulation is firmly in place.

2) Gun, brush, trowel and/or pump a min. 1/4" depth of Blostop™ 500+ over the insulation bridging the floor slab and any other adjacent surface. Apply a 1/2" diameter bead of Blostop™ 500+ at all zero point of contact areas.

Note: Based on test criteria of ASTM E-119/UL2079, a hose stream test is not applicable to a floor condition.

Note: Maximum 2 Hour rating or the maximum time based on the LEAST RATED ADJACENT SURFACE.

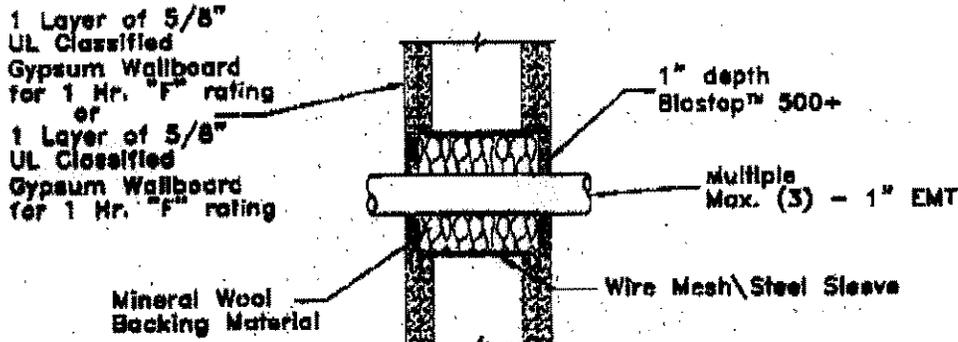
Note: User should determine suitability for intended and expected movement.

MANUFACTURER'S CERTIFIED INSTALLATION INSTRUCTIONS

MAX. L" GAP	JOB NO.: 02-12-09b	FOR ADDITIONAL INFO, SEE: UL AND/OR WOODOCK-HENNEY SYSTEM NUMBER:
HOURLY RATING: 1 OR 2 HOUR ASSEMBLY RATING	JOB NAME: SOMETHING SWEET	
ANNULAR SPACE: MAX, MIN.	CONTRACTOR: CONTRACTOR SPECIALIST	
	DISTRIBUTOR: L. W. MEYER	
	REPRESENTATIVE: ADAM KNUTH Co., INC.	HW00018
	12020 W. FERRICK STREET	DATE 12-04-02 TechMark PULLUP
	MILWAUKEE, WI 53222	
	MR. KEVIN KNUTH	Drawing No.
	(414) 466-2400	B-12-09b

All technical information contained herein is subject to information furnished to us which we believe to be accurate and reliable. The drawing is based on the manufacturer's and contractor's and conditions and/or specifications furnished to us by a third party and should be read carefully. No liability is assumed by the manufacturer for the products if installed or used in any manner not recommended by the user or other approved of the manufacturer, contractor, and/or distributor having jurisdiction for the project. SYSTEM INFORMATION. For limited product warranty, refer to specific Product Data Sheet.

Bio FIRESTOPS



- 1) Install No. 8 wire mesh or min. 20ga. galvanized steel sleeve cut to size, formed to hole shape, centered inside wall around pipe, and allowed to spring back snugly against periphery of hole such that it is recessed a min. of 1/8" in from wall surface on both sides.
- 2) Install backing material by firmly packing annular space with full wall of depth of min. 4.0 pcf mineral wool. Recess backing material at least 1" in from both sides of wall to accommodate the required fill depth of Biostop™ 500+.
- 3) Gun, trowel and/or pump Biostop™ 500+ firestopping sealant to a 1" depth on both sides of wall. Trowel sealant surfaces flush with wall surfaces and to a smooth defect-free finish.

Note: Local Inspector to have final authority at determination of hourly rating of floor/wall assembly.

MANUFACTURER'S CERTIFIED INSTALLATION INSTRUCTIONS

Max: MULTIPLE MAX. (3) 1" EMT 4" x 20" OPENING HOURLY RATING: 1 OR 2 HOUR "F" RATING ANNULAR SPACE: MAX. 2", MIN. 1/2"		Job No.: 02-12-09a Job Name: SOMETHING SWEET	
CONTRACTOR: CONTRACTING SPECIALIST DISTRIBUTOR: L.W. MEYER REPRESENTATIVE: ADAM KNUTH CO., INC. 12020 W. FERRIS STREET MILWAUKEE, WI 53222 MR. KEVIN KNUTH (414) 466-2400		FOR ADDITIONAL INFO. SEE: UL AND/OR WARNER HERSEY SYSTEM NUMBER: CAJ5137	
DATE 12-04-02 TECH MARK HALLAM		Drawing No. B-12-09a	

All technical information contained herein is based on information furnished to us which we believe to be accurate and reliable. This drawing is based on the structural engineer's and architect's job site conditions and/or requirements furnished to us by a third party and should be field verified. We warrant only against the function of the products if installed as shown in this drawing. It is recommended that one consult directly with the applicable authority, engineer, and/or inspector having jurisdiction for the project before installation. For limited product warranty, refer to specific product data sheet(s).

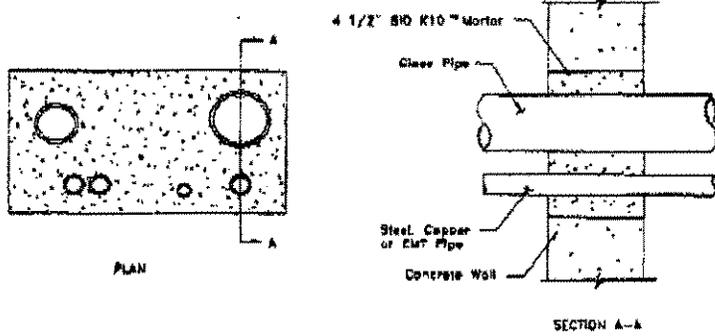
RECTORSEAL

BIO FIRESTOPS

MORTAR-CW-7
 Wall Penetration
 3 Hour Rating



System No.
 CAJ1892
 CAJ2014
 CAJ3005



SYSTEM CONFIGURATION INFORMATION

PRODUCT(S)			PENETRATING ITEM(S)			HOLE SIZE		ANNULAR SPACING		ADDITIONAL INSTALLATION MATERIALS AND AIDS			BACKING MATERIAL		ASTM E 814 RATING	
FILL MAT'L	MIN. THICK.	OTHER	TYPE	SIZE	INSULATION	MAX.	MIN.	MAX.	WIRE MESH	STEEL SLEEVE	OTHER	TYPE	DEPTH	T	F	
Bio K10™ Mortar	full wall	none	multiple steel, EMT copper & glass pipe	6" glass, 4" steel, EMT 3" copper	none	36"x24"	1"	N/A	none	none	none	as needed (darning only)	N/A	0 30 45	3	

INSTALLATION INSTRUCTIONS

These instructions are for the installation of through-penetration fire stop system Bio K10™ MORTAR-CW-7 in minimum 4 1/2 inch thick lightweight or normal weight (100-130 pcf) concrete walls or concrete block (CMU) walls as listed by Underwriters Laboratories Inc. Refer to above drawings and System Configuration Information for component details.

Step Procedure

- 1 Install allowable penetrant(s) and support rigidly on both sides of wall. Allow for required minimum spacing between adjacent pipe.
- 2 Clean all hole and pipe surfaces in penetration area to remove loose debris, dirt, oil, wax, grease, old caulking, etc.
- 3 If needed to maintain MORTAR within opening, a darning material such as styrofoam, wood, etc. may be used and removed after MORTAR has set.
- 4 After properly mixing the Bio K10™ MORTAR as directed pump or trowel into the opening. Pack MORTAR to required depth completely filling all voids and around all penetrating items.

JOBNAME:

ARCHITECT:

CUSTOMER:

CUSTOMER ORDER NO.:

CONTRACTOR:

REPRESENTATIVE:

REPRESENTATIVE ORDER NO.:

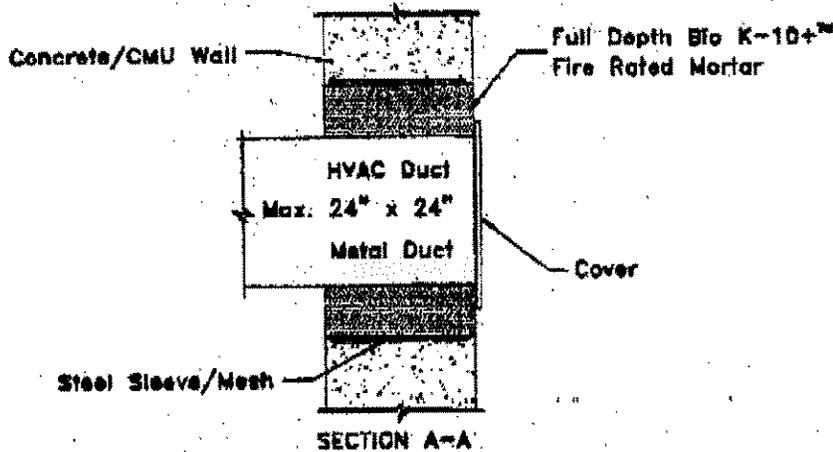
RECTORSEAL
 2601 SPENWICK HOUSTON, TEXAS 77055

REVISION NUMBER: 072198

SHEET NUMBER:

OF

Bio FIRESTOPS



- 1) If needed, install blackout material around sides of opening to prevent mortar from falling into the cavity of the wall. A min. 20ga. steel sleeve or wire mesh material may be used.
- 2) If needed to maintain Mortar within opening, a damming material such as styrofoam, wood, etc. may be used on one side of wall and removed after Mortar has set.
- 3) After properly mixing the Bio™ K-10+ Fire Rated Mortar as directed, pump or trowel into opening. Pack Mortar to a full wall thickness completely surrounding HVAC ducts.

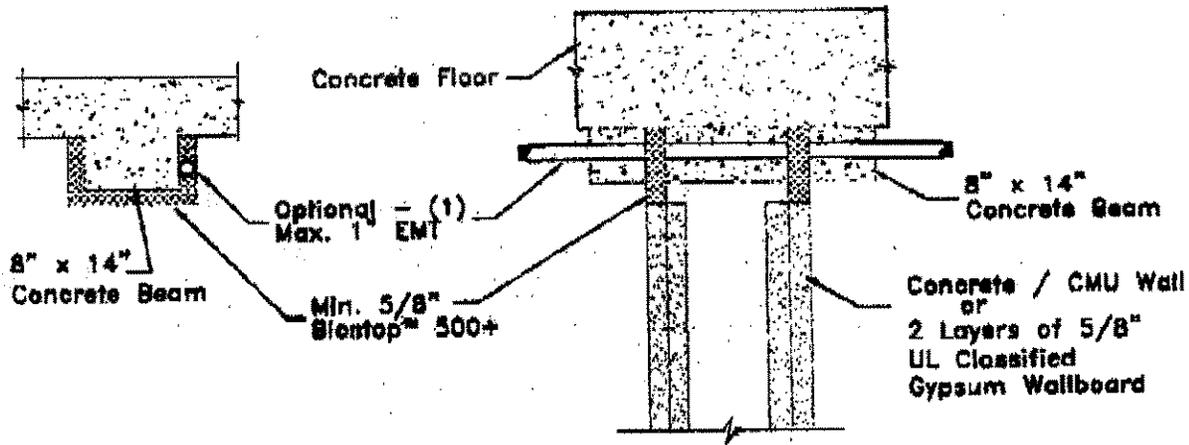
Note: Local Inspector to have final authority at determination of hourly rating of floor/wall assembly.

Note: 2 Hour rating or the maximum time based on the LEAST RATED ADJACENT SURFACE.

MANUFACTURER'S CERTIFIED INSTALLATION INSTRUCTIONS

MAX: 24" x 24" METAL DUCT - MIN. 20GA. HOURLY RATING: 1 OR 2 HOUR "F" RATING ANNULAR SPACE: NOMINAL 0"	JOB NO.: 02-12-09d JOB NAME: SOMETHING SWEET CONTRACTOR: CONTRACTING SPECIALIST DISTRIBUTOR: L.W. MEYER REPRESENTATIVE: ADAM KNUTH CO., INC. 12020 W. PEBBICK STREET MILWAUKEE, WI 53222 MR. KEVIN KNUTH (214) 466-2400
<div style="border: 1px solid black; padding: 2px; font-size: 8px;"> ALL technical information contained herein is based on information furnished to us which we believe to be accurate and complete. The drawings are issued as the structural department's and contractor's job site conditions and/or requirements furnished to us by a third party and should be read carefully. Reported errors include the function of the product if included as shown in this drawing. It is recommended that the user check drawings of the operating product, systems, and/or supplier's building instructions for the correct future installation. For further product warranty, refer to specific Product Data Sheet(s). </div>	FOR QUALIFIED INSTALLERS: UL AND/OR WARNER MERRY C-10001-100000 CAJ2014 CAJ8005, CAJ1032 DATE: 02-04-03 TECH: MARK MALAY
Drawing No. B-12-09d	

BIO FIRESTOPS



Gun, trowel, and/or pump Biostop™ 500+ firestopping sealant to a min. 5/8" depth into the gap on both sides of wall around the concrete beam. Apply a continuous 1/2" bead at all zero-annular areas. Trowel sealant surface flush with wall surface and to a smooth defect-free finish.

Note: 2 Hour rating or the maximum time based on the LEAST RATED ADJACENT SURFACE.

Note: Local inspector to have final authority at determination of hourly rating of floor/wall assembly.

MANUFACTURER'S CERTIFIED INSTALLATION INSTRUCTIONS

MAX: 1/2" GAP - 8" x 14" CONCRETE BEAM W/ OPTIONAL (1) EMT HOURLY RATING: 1 OR 2 HOUR "F" RATING ANNULAR SPACE: NOMINAL 1/2"		Job No.: DZ-12-09c JOB NAME: SOMETHING SWEET	
		CONTRACTOR: CONTRACTING SPECIALIST DISTRIBUTOR: L.W. MEYER REPRESENTATIVE: ADAM KNUTH CO., INC. 12020 W. FERRICK STREET MILWAUKEE, WI 53222 MR. KEVIN KNUTH (414) 466-2400	FOR ADDITIONAL INFO SEE: UL AND/OR WATKINS HERBY 8-6754 REVISED HWD0179 HWD0180
DATE 12-04-02 TEO'S MARK PALMY		Drawing No. B-12-09c	

All technical information contained herein is based on information furnished to us which we believe to be accurate and reliable. The drawing is listed as the structural engineer's and contractor's job site conditions and/or requirements furnished to us by a third party and should be field verified. Bio-stop™ should be installed in the manner as we describe it installed in these instructions. It is recommended that the user check approval of the structural engineer, architect and/or inspector having jurisdiction for the project before installation. For detailed product information refer to specific Product Data Sheet(s).

From: "Tran, Minh" <mtran@commerce.state.wi.us>
To: "dan.dibbs@appleton.org" <dan.dibbs@appleton.org>
Date: 11/20/02 11:26AM
Subject: FW: Something Sweet Shop Trans. # 777068

FYI

> -----Original Message-----

> **From:** Tran, Minh
> **Sent:** Wednesday, November 20, 2002 9:52 AM
> **To:** 'S4744@aol.com'
> **Subject:** RE: Something Sweet Shop Trans. # 777068

> Per IBC Section 1003.2.4, the means of egress shall have a ceiling height
> of not less than 7 feet, unless one of the exceptions of this code section
> apply. As this is a change of use submitted after July 01, 2002, this
> requirement applies to the project referenced above.

> If you would like to meet with me to discuss the details of this project,
> please call (920) 492-5601 to schedule an appointment. The fee for this
> would be \$60/hour/plan with a minimum charge of \$60.

> Thank you for the information.

> Minh Tran
> Engineering Consultant
> Safety and Buildings Division
> 2331 San Luis Place
> Green Bay, WI 54304
> Phone: (920) 492-7730
> Fax: (920) 492-5604

> -----Original Message-----

> **From:** S4744@aol.com [SMTP:S4744@aol.com]
> **Sent:** Tuesday, November 19, 2002 3:59 PM
> **To:** MTRAN@COMMERCE.STATE.WI.US
> **Subject:** Something Sweet Shop Trans. # 777068

> Dear Sir:

> In my email of 11/10/02 I indicated the clear height below the
> basement beam that crosses the egress hall to be 6'-2". This should have
> read 6'-0 1/2".

> I would be happy to meet with you for approx. 30 minutes to discuss
> the project and possible options to meet any concerns. Please contact me.

> Thank you.

> Carl Scott, AIA

City of Appleton - INSPECTION DIVISION BUILDING PERMIT APPLICATION

**STATE BUILDING
PERMIT NO.**

777068

Permit No. 1153
Receipt No. 201652
Permit Fee 250.⁰⁰/₁₀₀
Stormwater No. _____

Owner Something Sweet LLC Type Building Remodel 1st Floor
Location of Building _____ + Bst into Restaurant

No. 411 W. College Ave. Street _____ Zip _____

Aldermanic District (1)

Key No. 3-1031 Legal Description _____

Zoning District CBD

Date of Application: 10-15-02

Date issued: 10-15-02

Comments: _____

Reason Issued

New Building

Addition

Remodel-Interior

Remodel-Exterior

Wrecking

Moving

Other

Estimated Cost \$ 50,000.⁰⁰/₁₀₀

Type of Building

One Family

Two Family

Multi-Family

Garage-Att.

Garage-Sep.

Commercial

Remodel Int Other

Building Size Information

O.A. Dimension 4,056' # of

No. Stories altered Ht. space

Basement Area _____

Garage Area _____

1st Floor Area _____

2nd Floor Area _____

Volume _____

Total Area _____

Accessory Building

Set Back from Front Property Line _____

Distance from Main Bldg. _____

Side Yard Setback _____

Rear Yard Setback _____

Lot Information

Type _____

Corner _____

Interior

Size _____

Area _____

Main Building

Set Back _____

Side Yard _____

Side Yard _____

Rear Yard _____

Type of Building Const.

Frame _____

Masonry _____

Steel

Exterior Finish _____

Foundation

Full Bsmt.

Partial Bsmt.

Crawl Space

Frost Wall

Conc. Slab

Type of Foundation

Block/Concrete _____

Cross Wall _____

Steel Beams _____

Wood Beams _____

Posts _____ Number _____

Contractor Contracting Specialists Address Neenah Doug Schmidt Telephone 886-8700
 Architect or Designer Carl Sott Address Appleton Telephone 738-7701

The undersigned agrees to construct the above described building in accordance with plans and specifications submitted herewith, and in strict compliance with all the provisions of the Building Code and Zoning Ordinance of the City of Appleton and the Building Code of the State of Wisconsin, and to grant permission for reasonable inspections as a condition of receiving this permit.

THIS PERMIT DOES NOT COVER PLUMBING, ELECTRICAL OR HEATING INSTALLATIONS.

Permit granted by _____ Applicant Doug Schmidt
 Board of Appeals _____ Address _____
 Board of Building Inspection _____
 Approved by: Tom Ebel By _____
 State Certification No. _____

APPLICANT SHALL CALL THE INSPECTION DIVISION FOR REQUIRED INSPECTIONS: 832-6411
 Reasonable Accommodations for persons with disabilities will be made upon request and if feasible.

Permit Fee
\$360.00

City of Appleton

ELECTRICAL PERMIT

Permit No. 37 ✓
 Key No. 3-1031
 Zoning CBD
 Receipt No. _____
 Permit Fee 360.00
 Date Dec 05 03
1/7/03

TO THE ELECTRICAL INSPECTOR:

I hereby agree, with the issuance of this permit, to do only the work specified herein and to faithfully comply with the laws and regulations of the State of Wisconsin and the ordinances of the City of Appleton.

NAME OF OWNER	NUMBER AND STREET
---------------	-------------------

Something Sweet

411 W. College Ave

TYPE OF BUILDING	WHY ISSUED
------------------	------------

- One Family
 Two Family
 Multi-Family
 Commercial
 Other (specify)

- New Building
 Addition
 Rewire
 Other (specify)

CLASS OF SERVICE			
------------------	--	--	--

- New
 Service Change
 Special
 Meters Required 2
 Amp 200 & 400
 Voltage 120/240/120/208

- Single Phase
 Three Phase
 Two Wire
 Three Wire
 Three Four Wire

Number of Circuits <u>50</u>	Number of All Outlets <u>100</u>
------------------------------	----------------------------------

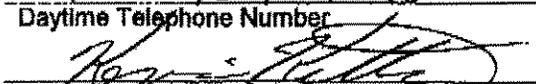
BUILT IN UNITS			
----------------	--	--	--

- Range
 Central Air Conditioning
 Hood
 Dishwasher
 Dryer
 Electric Heat
 Disposal
 Other

Send fees and all copies to the Electrical Inspector. Receipt and your copy will be returned upon approval. Submit approved plans when required.

John P. Morris
 Licensed Master Electrician (Print)

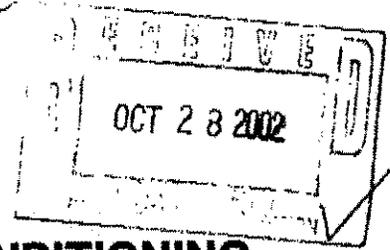
 Signature of Applicant
Morris Electric, Inc
 Electrical Contractor

\$20,000.00
 Estimated Cost
920-734-9078
 Daytime Telephone Number

 Electrical Inspector

CITY OF APPLETON

— PERMIT —

HEATING - VENTILATING - AIR CONDITIONING



Fee: 147.50

PERMIT NO. 751

Htg X

Receipt No. _____

A.C. X

Date: 10/29/02

Property Tax Key No. 3-1031

Owner: Something Sweet

Job Location: 411 W College

Type of Occupancy: Commercial

Type of Htg Plant: RTU - 2 RT-2 Type of Flue: _____

Type of Installation: Replacement NW Estimated Cost: 35,000

Htg Total B.T.U. Input: 160,000 A.C. Total B.T.U.: 72,000

State Approved Plan Required: yes A.C. Electrician: _____

In consideration of the issuance of the permit, the applicant agrees to faithfully comply with all laws and regulations of the State of Wisconsin and of the Ordinances of the City of Appleton.

Contractor Business Name: Christensen Htg

Name of License Holder: Bill

Appleton License No. 63 State HVAC Certification No. 4359

Business Address: 1609 W. Wisconsin Ave.

Signature of Applicant: [Signature]

Date: 9-26-02

[Signature]
 Appleton HVAC Inspector

REASONABLE ACCOMMODATIONS FOR PERSONS WITH DISABILITIES
WILL BE MADE UPON REQUEST AND IF REASONABLE.

City of Appleton

HEATING - VENTILATING - AIR CONDITIONING PERMIT

DEC 9 2002

Permit No. 889
 Key No. 3-1031
 Receipt No. 2041755
 Permit Fee 105.50
 Date 12/6/02
 For Finance Use Only: 15520-4403

TO THE HVAC INSPECTOR:

I hereby agree, with the issuance of this permit, to do only the work specified herein and to faithfully comply with the laws and regulations of the State of Wisconsin and the ordinances of the City of Appleton.

NAME OF OWNER	NUMBER, DIRECTIONAL, STREET
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<u>SOMETHING SWEET</u>	<u>411 W COLLIER AVE AV</u>
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TYPE OF BUILDING	TYPE & QUANTITY OF INSTALLATION
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<input type="checkbox"/> One Family <input type="checkbox"/> Two Family <input type="checkbox"/> Multi-Family <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Other (specify): <u>RESTAURANT</u>	<input type="checkbox"/> Air Conditioning <input type="checkbox"/> Air Handlers <input type="checkbox"/> Gas Boilers <input type="checkbox"/> Gas Furnace <input checked="" type="checkbox"/> Other (specify): <u>KITCHEN HOOD</u>
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State Approved Plan Required: Yes No

Air Conditioning Electrician _____

Heating _____ (List in B.T.U.'s)

Air Conditioning _____ (List in B.T.U.'s)

Send fees and all copies to the HVAC Inspector. The Receipt and your copy will be returned upon arrival. Submit approved plans when required.

Todd Thompson 571 11000.00
 Name of License Holder (Print) City License No. Estimated Cost

Todd Thompson _____
 Signature of Applicant State HVAC Certification No.

THOMPSON SHEET METAL INC 920-435-0865
 HVAC Contractor Daytime Telephone Number

1750 UNIVERSITY AV _____
 Contractor Mailing Address HVAC Inspector

GREEN BAY WI 54302
 City State ZIP

City of Appleton
PLUMBING PERMIT

Permit No. 742
Key No. 3-1031-00
Receipt No. 2016187
Permit Fee \$115.50
Date 10/23/02

TO THE PLUMBING INSPECTOR:

I hereby apply for a permit to do and install the following plumbing on the premises hereinafter described, the work to conform to the Wisconsin State Plumbing Code, in the performance of which all parties hereto agree to and are bound by said statutes.

21 @ 5.50/fixture = \$115.50

NAME OF OWNER	NUMBER AND STREET
<i>Something Sweet</i>	<i>411 W College Avenue</i>

LEGAL DESCRIPTION

TYPE OF BUILDING	WHY ISSUED
<input type="checkbox"/> One Family <input type="checkbox"/> Two Family <input type="checkbox"/> Multi-Family <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Other (specify)	<input type="checkbox"/> New Building <input checked="" type="checkbox"/> Remodeling <input type="checkbox"/> Other (specify)
WATER CLOSETS <i>3</i>	CLOTHES WASHERS
WASH BASINS <i>3</i>	LAUNDRY TRAYS
BATH TUBS	WATER HEATERS <i>2</i>
SHOWER STALLS	FLOOR DRAINS
SINKS <i>9</i>	SUMP PUMPS
DISPOSALS	WHIRLPOOL TUBS
DISHWASHERS <i>1</i>	URINALS
GREASE INTERCEPTORS	BAR SINKS
DRAIN TILE RECEIVERS	GARAGE DRAINS
SITE DRAINS	OTHER <i>sub-drains</i> <i>3</i>

This permit is issued to the undersigned upon payment of the permit fee and is hereby granted authority to do plumbing work indicated on the premises and pursuant to this application, herein stated, and in full compliance with the City Ordinances and State Plumbing Code.

R.J. Kampe
Licensed Master Plumber (Print) License No. *MP6003*

\$20,000.00
Estimated Cost

[Signature]
Signature of Applicant
RJ Kampe Plumbing & Htg, Inc.
Plumbing Contractor

10-21-02
Date
[Signature]
Plumbing Inspector

City of Appleton
SEWER PERMIT

Permit No. 853
Key No. 848
Key No. 3-1031-000
Receipt No. 202 8851
Permit Fee \$100 + \$100 SIDEWALK
Date 11/21/02

TO THE PLUMBING INSPECTOR:

I hereby apply for a permit to open a trench in the street and lay or repair sewers, water services and conduits.

NAME OF OWNER	NUMBER AND STREET
<u>JONAS</u>	<u>411 W. College Ave</u>

LEGAL DESCRIPTION

TYPE OF BUILDING	WHY ISSUED
<input type="checkbox"/> One Family <input type="checkbox"/> Two Family <input type="checkbox"/> Multi-Family	<input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Other (specify)
	<input type="checkbox"/> Storm <input type="checkbox"/> Sanitary <input checked="" type="checkbox"/> Storm and Sanitary

STORM	BANITARY
TAP WYE:	TAP WYE:
<u>T.E.L.</u>	
<u>6" Inch Sch-40 Pipe R.P.C.</u>	<u>4" Inch TYPE K Pipe</u>
	Water Service: <u>TYPE K</u> Size: <u>1 1/2"</u>

REPAIR REQUIRED:
SIDEWALK _____ STREET _____ LOCATION: _____

This permit is issued to the undersigned upon payment of the permit fee and is expressly limited to the premises described herein and the street immediately adjacent thereto. All street excavation shall be performed in conformity to City ordinances, be properly barricaded and lighted, and be performed promptly in a workman like manner. Permit holder shall be liable for any and all damages which may result from his occupancy, use, or excavation of the street or the premises and shall pay all reasonable costs to restore the pavement to useable condition. Violation of the terms of the permit may result in forfeiture, permit or license revocation, or other appropriate penalty.

Wayne Van Handel
Licensed Master Plumber (Print) License No. _____
Wayne Van Handel
Signature of Applicant
WAYNE VAN HANDEL
Sewer Contractor

3000
Estimated Cost
11/21/02
Date
[Signature]
Plumbing Inspector